



PREMIERE PROPERTIES LLC
280 Reynolds Bridge Road
Thomaston, CT 06787
860-480-4820

Watertown Zoning Commission:

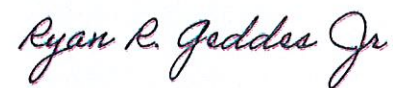
We would like to say thank you for having me at the last scheduled zoning meeting. Just wanted to recap what was discussed and our goals for "The Ledges at Echo Lake." We would like a site plan modification to accomplish two key items.

One being the removal of the first building on the left entering the property. This is shown on the approved existing site plan as Units #7-11. By eliminating this building and leaving just the parking area we eliminate the need to remove the giant beautiful ledge on the right-hand side going into the property. Saving cost and circumventing any potential life safety issues. This will really bring to life the new name of the project as well.

Two being the addition of one- and two-bedroom units which will give a much bigger diversity to the potential incoming residents of the community. It will also give us an opportunity to provide four needed handicap units in this development as well.

We would like to mention that we have made minor changes to the existing site plan. The Site Modification Plan has been provided as requested. We added additional parking and removed a previously approved foundation. We kept the basic footprint of the original approved site plan and incorporated it into the modification plan. The additional units at the two new proposed one-and two-bedroom buildings meet all Local and State code requirements.

Best Regards,



Ryan Geddes Jr



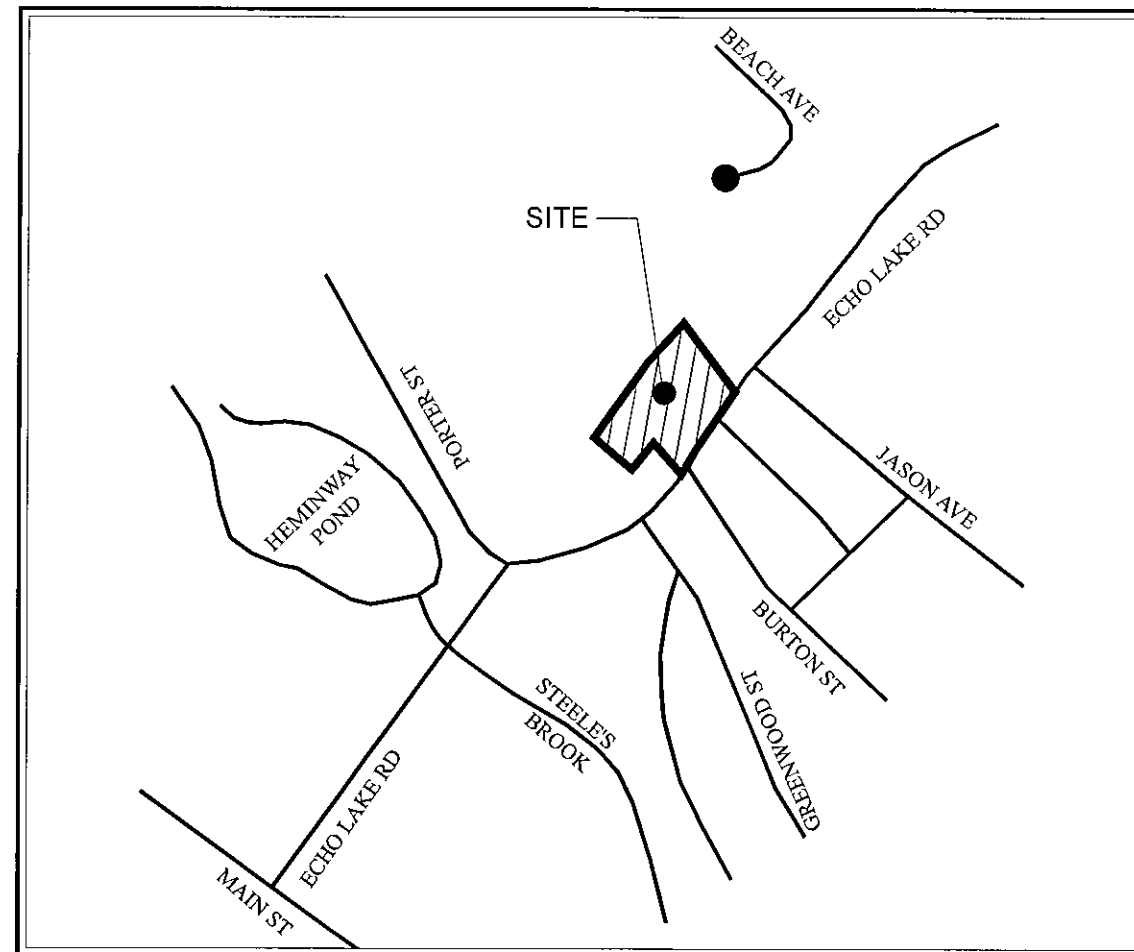
PROPOSED SITE DEVELOPMENT PLAN

"THE LEDGES @ ECHO LAKE"

*243 ECHO LAKE ROAD,
WATERTOWN, CONNECTICUT*

APRIL 18, 2023

*REVISED MAY 31, 2023



ORIGINAL APPLICANT/DEVELOPER:

PREMIERE INDUSTRIES, LLC
296 REYNOLDS BRIDGE RD,
THOMASTON, CT 06787

OWNER OF RECORD:

PREMIERE PROPERTIES LLC
280 REYNOLDS BRIDGE RD,
THOMASTON, CT 06787

ENGINEER:

DESIGN DEVELOPMENT GROUP
458 EAST MAIN STREET
MERIDEN, CT

SURVEYOR:

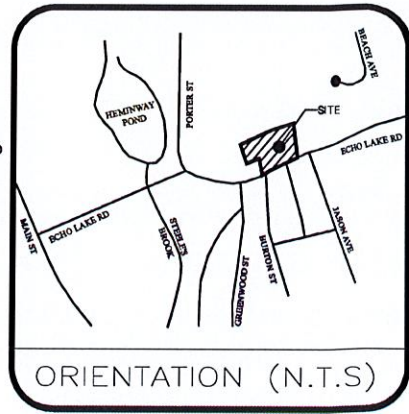
DESIGN DEVELOPMENT GROUP
458 EAST MAIN STREET,
MERIDEN, CT

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6	EXISTING ROADWAY, PROFILE, AND DETAILS
7	EXISTING CONSTRUCTION DETAILS & NOTES
8	EXISTING SIGHT LINE PROFILE TO EAST



CONSULTING ENGINEERS - LAND SURVEYORS
MERIDEN, CT. 458 EAST MAIN STREET (203) 235-9809



LOT COVERAGE CALCULATION:

12 TOWNHOUSE UNITS x 700 S.F. = 8,400 S.F.
 2 PROPOSED BUILDINGS x 4,165 S.F. = 8,330 S.F.
 140,197 S.F. / 16,730 S.F. = 8.4%

PARKING REQUIREMENTS:

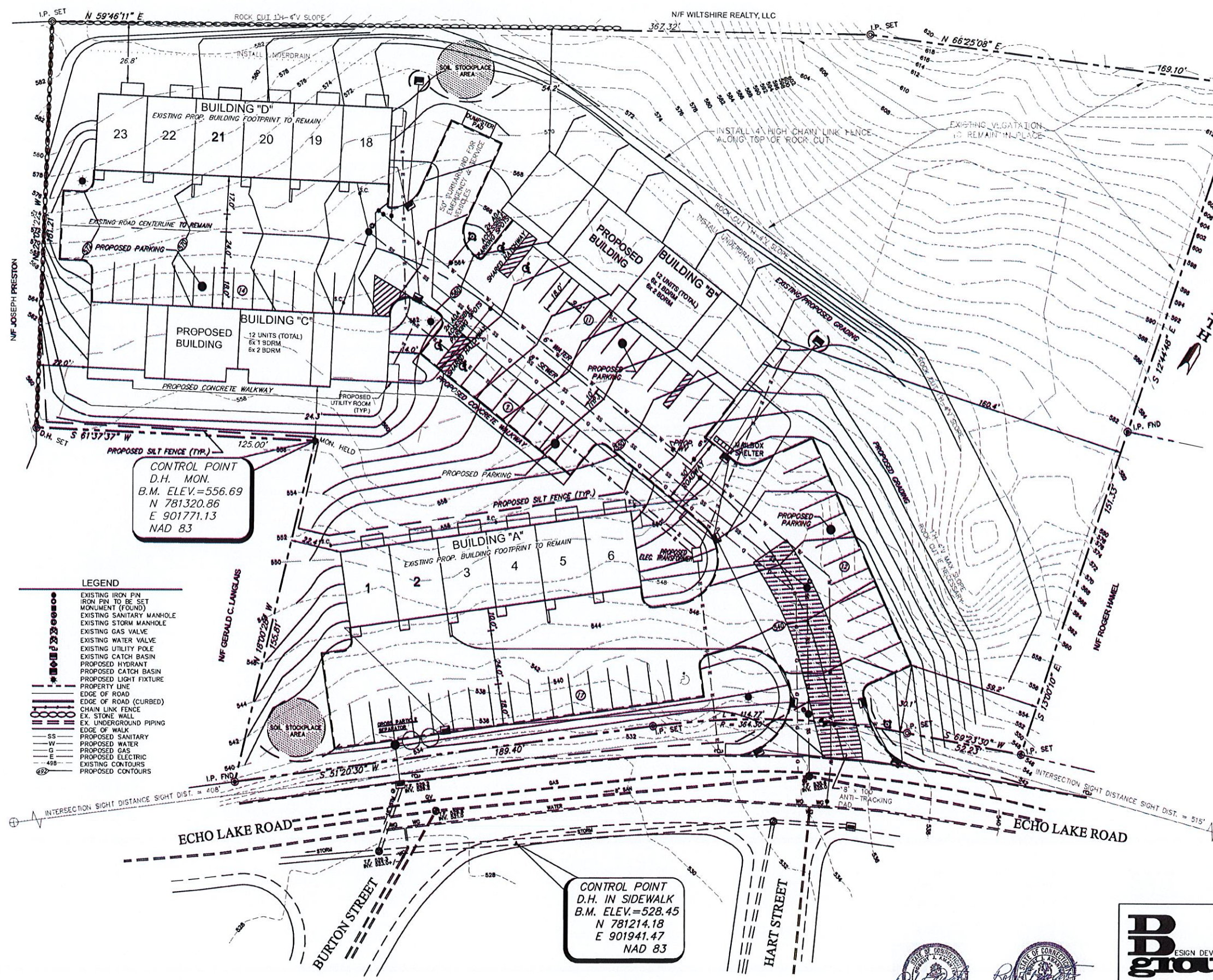
GARAGE SPACES (2 PER UNIT) X 12 = 24
 OPEN SPACES = 61
 HANDICAP SPACES = 5

TOTAL = 90 SPACES
 2.5 UNIT = 2.5 ✓
 MINIMUM REQUIRED BY TOWN OF WATERTOWN ZONING REGULATIONS

- MAP NOTES:**
- THIS MAP AND SURVEY HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" HAVING AN EFFECTIVE DATE OF OCTOBER 26, 2018.
 - BOUNDARY DETERMINATION: "DEPENDENT RESURVEY". THIS SURVEY IS SUBJECT TO SUCH FACTS AS AN "INDEPENDENT RESURVEY" MAY DISCLOSE. BOUNDARY LINES ARE PER REFERENCES OF NOTE #7 (A) HEREON.
 - THE HORIZONTAL BASELINE CONFORMS TO A CLASS A-2 ACCURACY. THE VERTICAL BASELINE CONFORMS TO A CLASS V-2 ACCURACY. THE TOPOGRAPHIC FEATURES CONFORM TO A CLASS T-2 ACCURACY.
 - THE NORTH ARROW AND BEARINGS ARE BASED UPON MAP REFERENCE A.
 - UNDERGROUND UTILITIES, STRUCTURES AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE COMPANIES OR GOVERNMENTAL AGENCIES AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE WHICH IS UNKNOWN TO DESIGN DEVELOPMENT GROUP INC. ALL CONTRACTORS ARE REQUIRED TO CONTACT CALL-BEFORE-YOU-DIG AT 1-800-922-4455 FOR LOCATION AND/OR STAKEOUT OF ANY UTILITY PRIOR TO ANY EXCAVATION.
 - SEE REVISED SANITARY CONSTRUCTION DATA BELOW ALONG WITH NEW SITE DETAILS ON SHEET 2. STORM CONSTRUCTION DATA TO REMAIN THE SAME AS SHOWN IN MAP REFERENCE A. UNLESS SHOWN OTHERWISE.
 - MAP REFERENCES:
 A. MAP ENTITLED, "SITE DEVELOPMENT PLAN, TOWN VIEW, AN AFFORDABLE HOUSING DEVELOPMENT, ECHO LAKE ROAD, WATERTOWN, CONNECTICUT, PREPARED FOR JAMES RIZK, JR., DATED 4/26/07 WITH LATEST REVISION ON 9/4/07, SCALE 1" = 20', PREPARED BY LAND DATA ENGINEERS."

REVISED SANITARY CONSTRUCTION DATA

TYPE	T.F.	EL.	INV. EL.	SIZE	LENGTH	GRADE	NOTES
A. EX. MH	535.6	525.0		8"	27.7'	5.4%	**MH TO HAVE CHIMNEY INV. EL. FROM ROAD 526.5 INV. EL. FROM ME1 'C': 531.22
B. MH	536.5	**		8"	56.3'	9.2%	
C. MH	541.4	536.4		8"	253.2'	9.16%	
D. MH	564.6	559.6					



**CONTROL POINT
 D.H. MON.
 B.M. ELEV.=556.69
 N 781320.86
 E 901771.13
 NAD 83**

**CONTROL POINT
 D.H. IN SIDEWALK
 B.M. ELEV.=528.45
 N 781214.18
 E 901941.47
 NAD 83**

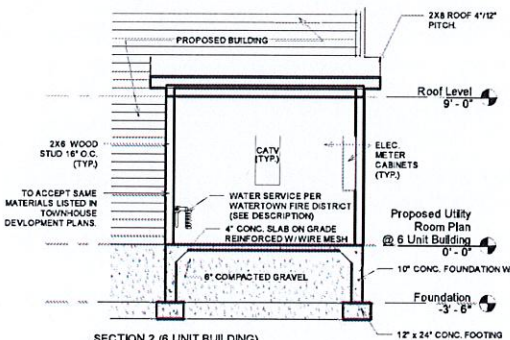
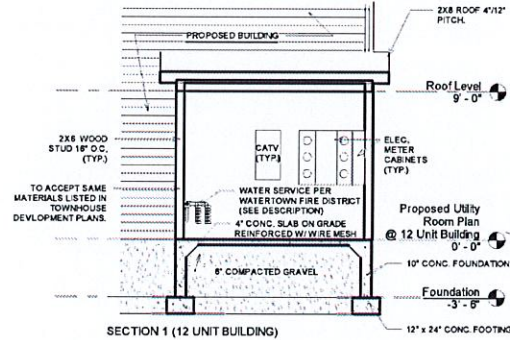
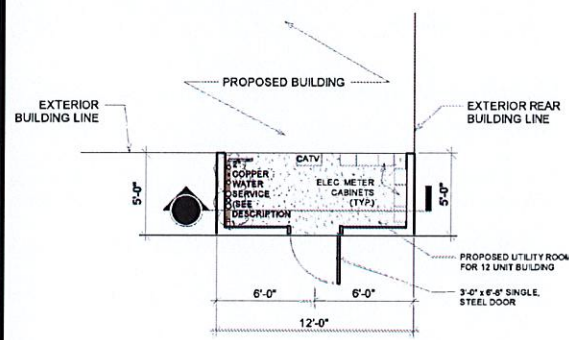
- LEGEND**
- EXISTING IRON PIN
 - IRON PIN TO BE SET
 - MONUMENT (FOUND)
 - EXISTING SANITARY MANHOLE
 - EXISTING STORM MANHOLE
 - EXISTING GAS VALVE
 - EXISTING WATER VALVE
 - EXISTING UTILITY POLE
 - EXISTING CATCH BASIN
 - PROPOSED HYDRANT
 - PROPOSED CATCH BASIN
 - PROPOSED LIGHT FIXTURE
 - PROPERTY LINE
 - EDGE OF ROAD (CURBED)
 - CHAIN LINK FENCE
 - EX. STONE WALL
 - EX. UNDERGROUND PIPING
 - SS PROPOSED SANITARY
 - W PROPOSED WATER
 - G PROPOSED GAS
 - E PROPOSED ELECTRIC
 - 498 EXISTING CONTOURS
 - PROPOSED CONTOURS

DD group
 DESIGN DEVELOPMENT
 CONSULTING ENGINEERS - LAND SURVEYORS
 MERIDEN, CT. 458 EAST MAIN STREET (203) 235-9809

TITLE
 SITE MODIFICATION PLAN
 PREPARED FOR:
 Premiere Properties LLC
 243 Echo Lake Road
 WATERTOWN CONNECTICUT
 DATE: APRIL 16, 2023 SCALE: 1" = 20'
 REVISIONS: 05/31/23 - WFD COMMENTS DRAWN BY: SHEET # 1 of 3

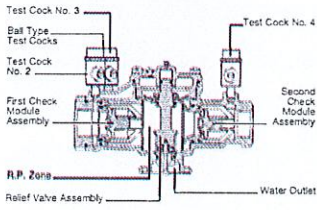
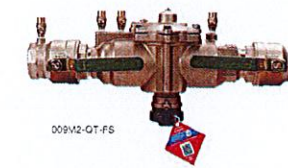


UTILITY ROOM DETAILS



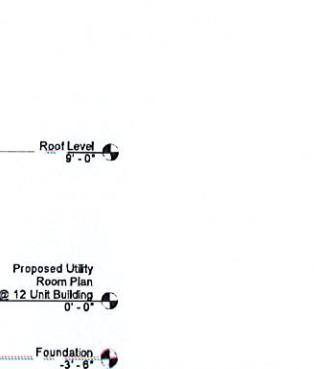
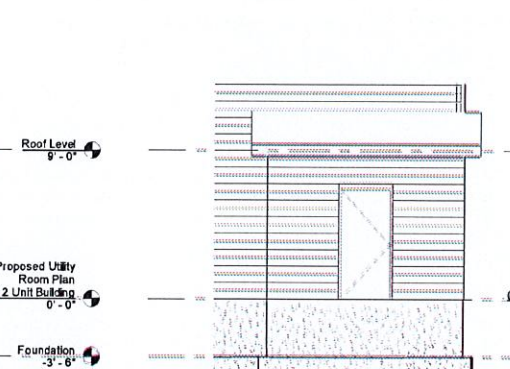
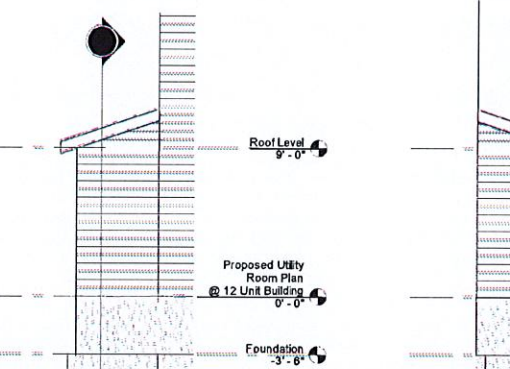
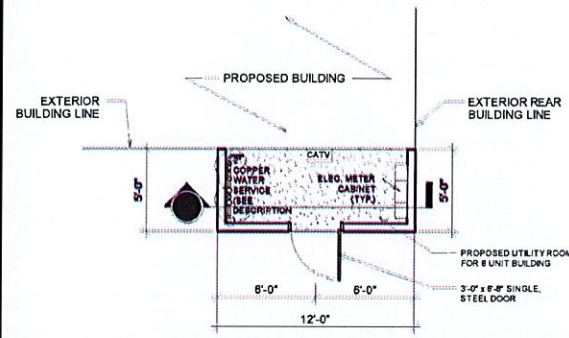
THE DEPICTED WATER SERVICE SHALL BE AS FOLLOWS:
 THE WATER SERVICE SHALL BE 2" COPPER (TYPE K) PIPE UP THROUGH THE SLAB (3" POLY. SLEEVE) A MIN. 12" FROM T.O. SLAB TO A 90 DEGREE ELBOW TO 1-1/2" COPPER PIPE, THENCE TO A 2" BALL VALVE, TO A 1-1/2" BADGER E-SERIES, TO ANOTHER 2" BALL VALVE, THENCE TO ANOTHER 1-1/2" SERVICE SHALL CONTINUE TO A 1-1/2" BALL VALVE, TO A WATTS RPZ 009-FS SERIES INCLUDING AN AIR GAP (WATTS MODEL 009M2), TO ANOTHER 1-1/2" BALL VALVE, THENCE TO 90 DEGREE ELBOW THE 1-1/2" SERVICE SHALL CONTINUE TO THE MANFOLDS FOR EACH UNIT PLACED VERTICALLY.

REDUCED PRESSURE ZONE (RPZ) 009-FS SERIES

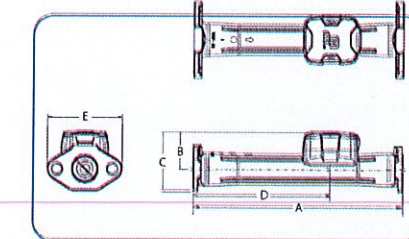


FOR INDOOR INSTALLATIONS, THE ASSEMBLY WILL BE EASILY ACCESSIBLE TO FACILITATE TESTING AND SERVICING. IF IT IS LOCATED IN A LINE CLOSE TO A WALL, BE SURE THE TEST COCKS ARE EASILY ACCESSIBLE. A DRAIN LINE AND AIR GAP SHOULD BE PIPED FROM THE RELIEF VALVE CONNECTION. THIS IS WHERE EVIDENCE OF DISCHARGE IS CLEARLY VISIBLE, SIGNALING THE NEED TO PROTECT AGAINST WATER DAMAGE.

A REDUCED PRESSURE ZONE ASSEMBLY SHALL BE INSTALLED AT EACH POTENTIAL HEALTH HAZARD LOCATION TO PREVENT BACKFLOW DUE TO BACK-SIPHONAGE AND/OR BACKPRESSURE. THE ASSEMBLY SHALL CONSIST OF AN INTERNAL PRESSURE DIFFERENTIAL RELIEF VALVE LOCATED IN A ZONE BETWEEN TWO POSITIVE SEATING CHECK MODULES WITH CAPTURED SPRINGS AND SILICONE SEAT DISCS. SEATS AND SEAT DISCS SHALL BE REPLACEABLE IN BOTH CHECK MODULES AND THE RELIEF VALVE. THERE SHALL BE NO THREADS OR SCREWS IN THE WATERWAY EXPOSED TO LINE FLUIDS. SERVICE OF ALL INTERNAL COMPONENTS SHALL BE THROUGH A SINGLE ACCESS BRONZE COVER SECURED WITH STAINLESS STEEL BOLTS. THE ASSEMBLY SHALL ALSO INCLUDE TWO RESILIENT SEATED ISOLATION VALVES, FOUR RESILIENT SEATED TEST COCKS, AND AN AIR GAP DRAIN FITTING. THE ASSEMBLY SHALL MEET THE REQUIREMENTS OF USC, ASSE STD. 1013; AWWA STD.



BADGER METER E SERIES (1-1/2")



PHYSICAL DIMENSIONS

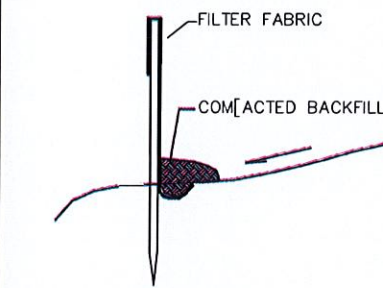
E-Series Ultrasonic Meter Size	1-1/2 in. (40 mm)
Flowing	0.5 gpm (2 l/min)
Size Displacement Layer Length	1.12 in. (28.4 mm)
Weight (w/2000 gpm)	8.2 lb (3.7 kg)
Size, Protection Factor, Measurement Accuracy	
Length (A)	13.0 in. (330 mm)
Height (B)	2.65 in. (67 mm)
Height (C)	4.55 in. (116 mm)
Length (D)	7.12 in. (180 mm)
Height (E)	5.50 in. (140 mm)
Face Size	1.12 in. (40 mm)
Two-Bolt Flange (AWWA)	1.12 in. (40 mm)
Ball Hole Diameter	0.65 in. (16.5 mm)
Connection Flange	1.12 in. (40 mm)
Internal Thread Size	

SPECIFICATIONS

E-Series Ultrasonic Meter Size	1-1/2 in. (40 mm)	2 in. (50 mm)
Normal Test Flow Limits	1.25 - 100 gpm (0.28 - 22.7 m³/h)	1.5 - 142 gpm (0.34 - 34.3 m³/h)
Minimum Test Flow Limits	0.40 gpm (0.09 m³/h)	0.18 gpm (0.11 m³/h)
Safe Maximum Operating Condition (SMOC)	100 gpm (22.7 m³/h)	100 gpm (22.7 m³/h)
Typical Pressure Loss	3.8 psi (2.6 bar)	5.2 psi (3.6 bar)
Reverse Flow - Maximum Rate	12 gpm (2.71 m³/h)	14 gpm (3.25 m³/h)
Operating Performance	In the normal temperature range of 45 - 122°F (7 - 50°C), new meter consumption measurement is accurate to: + 1.5% over the normal flow range + 1.3% from the extended low flow range to the minimum flow value	
Storage Temperature	-40 - 140°F (-40 - 50°C)	
Maximum Ambient Storage (Storage for One Hour)	150°F (60°C)	
Measured Fluid Temperature Range	34 - 140°F (1 - 60°C)	
Humidity	0 - 100% condensing; meter is capable of operating in fully submerged environments	
Maximum Operating Pressure of Meter Housing	175 psi (12 bar)	
Register Type	Straight reading, semi-wetted sealed electronic LCD, digits are 0.28 in. (7 mm) high	
Register Display	+ Consumption up to nine digits + Rate of flow + Alarms: empty pipe, temperature, exceeding max flow, sensor error, reverse flow, suspected leak, 30 day no usage, end of life + Unit of measure factory programmed for gallons, cubic feet and cubic meters	
Register Capacity	+ 100,000,000 gallons + 10,000,000 cubic feet + 1,000,000 cubic meters	
Totalization Display Resolution	+ Gallons: 54 + Cubic Feet: 0.9 + Cubic Meters: 0.000	
Battery	3.6-volt 814mAh lithium chloride battery is fully encapsulated within the register housing and is not replaceable; 20-year battery life	

MATERIALS

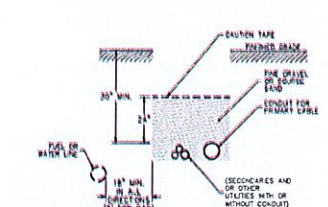
Meter Housing	316 stainless steel
Measuring Element	Pair of ultrasonic sensors located in the flow tube
Register Housing & Lid	Engineered polymer
Metering Inset	Engineered polymer & stainless steel
Transducers	Piezo ceramic device with wetted surface of stainless steel



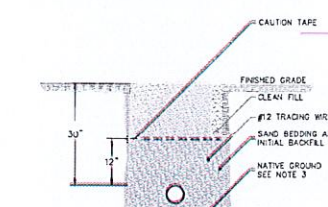
SILT FENCE DETAIL

SEDIMENTATION AND EROSION CONTROL NOTES

- LAND DISTURBANCES SHALL BE KEPT AT A MINIMUM AND THE RESTABILIZATION OF THE AREA SHALL BE AS SOON AS PRACTICAL. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED WITH THE LATEST STANDARDS AS SET FORTH IN THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- IT WILL BE THE RESPONSIBILITY OF THE DEVELOPER OF THE SITE TO INSTALL AND MAINTAIN THE EROSION AND SEDIMENT CONTROL MEASURES AS DEPICTED HEREON ON THE ATTACHED PLANS AND AS REQUIRED BY THE CITY OF WATERBURY STANDARDS.
- THE CONTRACTOR MUST VERIFY THE LOCATION AND SERVICEABILITY AND SIZE OF THE EXISTING WATER AND SANITARY SEWER PRIOR TO THE BEGINNING OF CONSTRUCTION.
- UTILITIES SHOWN ARE FROM FIELD INFORMATION AND FROM EXISTING MAPS AND ARE SUBJECT TO FIELD VERIFICATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHOULD BE AWARE THAT OTHER UTILITIES MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UTILITIES MARKED BY THE UTILITY OWNER PRIOR TO CONSTRUCTION.



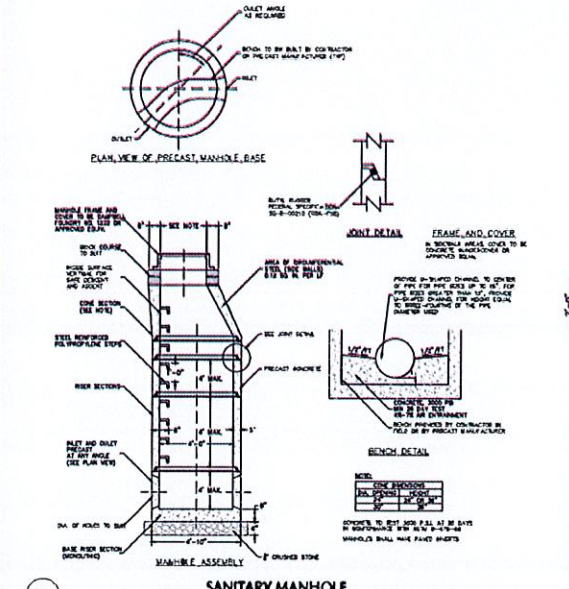
- NOTES:
- ALL DIRECT-BURIED CABLES SHALL BE INSTALLED AT A DEPTH OF AT LEAST 30 INCHES IN THE FOLLOWING ORDER:
 A. INSURE THAT THE BOTTOM OF THE TRENCH IS WELL-AMPED AND FREE OF HOLES.
 B. INSTALL BEDDING AND OTHER UTILITY CABLES OR CONDUITS LARGER THAN 2 INCHES IN DIAMETER.
 C. BACKFILL WITH 3/4" INCHES CLEAR FILL NOT TO CONTAIN STONES LARGER THAN 2 INCHES IN DIAMETER.
 D. INSTALL CABLE MARKING TAPE 12 INCHES OVER THE CONDUIT.
 E. FULL DEPTH REPAIR OF THE TRENCH WITH WATER BENTONITE.
 F. THE TRENCH SHALL BE BACKFILLED IMMEDIATELY FOLLOWING PLACEMENT OF THE BEDDING, SAND BACKFILL AND FRO BENTONITE. GAS CONTRACTOR TO PROVIDE INSTALLATION OF ALL GAS PIPING AND SERVICES.



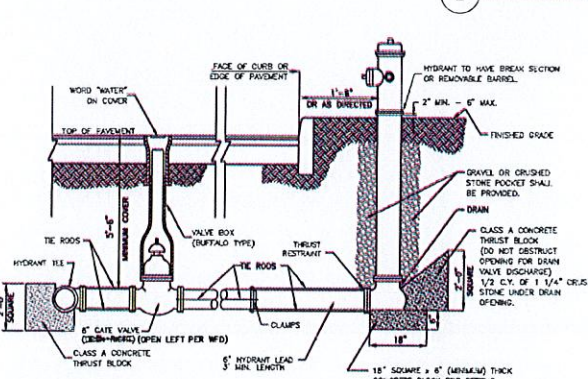
- NOTES:
- TRENCHES IN STABLE SOIL OVER 5 FT DEEP SHALL BE REINFORCED BY APPROVED ESDM METHOD.
 - TRENCHES SHALL BE COMPACTED.
 - IF NATIVE GROUND IS NOT SUITABLE, THE CONTRACTOR SHALL EXCAVATE TO AN ACCEPTABLE DEPTH AND INSTALL MATERIALS AS APPROVED BY ENGINEERS AND UTILITY COMPANY. CONTRACTOR TO PROVIDE EXCAVATION, BEDDING, SAND BACKFILL AND FRO BENTONITE. GAS CONTRACTOR TO PROVIDE INSTALLATION OF ALL GAS PIPING AND SERVICES.

2 ELECTRICAL UTILITY TRENCH

1 GAS MAIN TRENCH

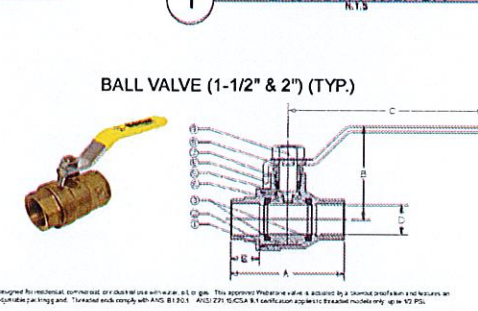


SANITARY MANHOLE



- NOTES:
- ALL CONCRETE THRUST BLOCKS TO BEAR ON UNDISTURBED GROUND.
 - BEDDING SHALL CONSIST OF TWO 3/4" THREADED STEEL RODS WITH NUTS AND WASHERS COMPLETE WITH ALL NECESSARY AND REQUIRED CLAMPS, CAREFULLY AND THOROUGHLY COVERED WITH ASPHALT OR OTHER ACCEPTABLE CORROSION RESISTING MATERIAL. IN GENERAL, THE METHOD AND TYPE OF MATERIAL REQUIRED IN THE INSTALLATION OF CLAMPS AND THE RODS SHALL BE IN ACCORDANCE WITH THE LATEST NATIONAL FIRE PROTECTION STANDARDS.
 - HYDRANT RODS SHALL NOT BE CONNECTED TO OR WITHIN TEN (10) FEET OF SANITARY SEWERS OR STORM DRAINS.
 - IF GROUND WATER IS FOUND WITHIN SEVEN (7) FEET OF THE SURFACE, HYDRANT DRAINS ARE TO BE PLUGGED. WHEN DRAINS ARE TO BE PLUGGED, THE BARRELS MUST BE PUMPED DRY AFTER USE DURING FREEZING WEATHER. SUCH HYDRANTS SHALL BE IDENTIFIED WITH A VISIBLE WARNING AS APPROVED BY THE WATER AUTHORITY.

HYDRANT INSTALLATION



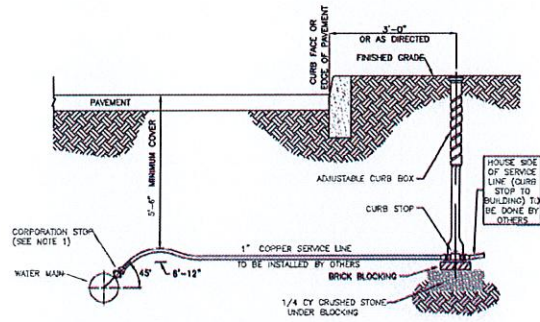
Part	Quantity	Material	Notes
1	1	1-1/2" BALL VALVE	AS SHOWN
2	1	2" BALL VALVE	AS SHOWN
3	1	1-1/2" BALL VALVE	AS SHOWN
4	1	2" BALL VALVE	AS SHOWN
5	1	1-1/2" BALL VALVE	AS SHOWN
6	1	2" BALL VALVE	AS SHOWN
7	1	1-1/2" BALL VALVE	AS SHOWN
8	1	2" BALL VALVE	AS SHOWN
9	1	1-1/2" BALL VALVE	AS SHOWN
10	1	2" BALL VALVE	AS SHOWN

NOTE: ALL DETAILS SHOWN MAY BE REPLACED WITH EQUIVALENT PRODUCTS THAT MEET THE REQUIREMENTS OF THIS PLAN AND THE WATERTOWN FIRE DISTRICT AND ZONING REGULATIONS.

DB DESIGN DEVELOPMENT
 CONSULTING ENGINEERS - LAND SURVEYORS
 MERIDEN, CT. 458 EAST MAIN STREET (203) 235-9809

SITE DETAILS
 PREPARED FOR:
 Premiere Properties LLC
 243 Echo Lake Road
 WATERTOWN CONNECTICUT
 DATE: APRIL 16, 2023 SCALE: 1" = 20'
 REVISIONS: 05/31/23 - MFD COMMENTS DRAWN BY: SHEET # 2 of 3





CONSTRUCTION MATERIALS

SIZE	SERVICE LINE (Material)	CORPORATION STOP	CURB STOP	CURB BOX	ENLARGED BASE
3/4"	COPPER	H-15208	H-15214	H-15230	Not Applicable
1"	COPPER	H-15208	H-15214	H-15230	Not Applicable
1 1/2"	COPPER	H-15203	H-15214	H-15235	Not Applicable
2"	COPPER	H-15203	H-15214	H-15235	H-15244

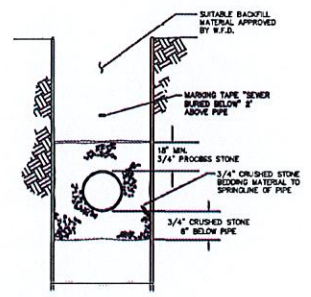
CORPORATION STOP, CURB STOP, CURB BOX AND ENLARGED BASE FOR CURB BOX SHALL BE MUELLER COMPANY OR APPROVED EQUAL. CALLING NUMBERS SHOWN REFER TO MUELLER COMPANY.

NOTES:

- INSTALLATION OF 1 1/2" AND 2" CORPORATION STOPS SHALL BE MADE IN THE UPPIER PIPE DUCTILE BUT MAY BE MADE AT ANGLES LESS THAN 45° IF APPROVED BY THE OWNER'S FIELD REPRESENTATIVE.
- SERVICE LINE SHALL HAVE NO JOINTS BETWEEN THE WATER MAIN AND CURB STOP.
- ALL WAYS AND SERVICE ENDS SHALL BE DONE BY THE WATER DEPARTMENT. EACH UNIT SHALL HAVE SEPARATE METERS AND SHUTOFFS.

SERVICE CONNECTION (2" OR LESS)

N.T.S.

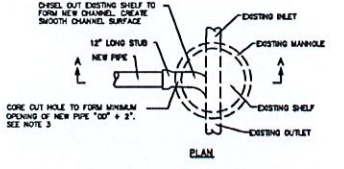


TRENCH SECTION SANITARY SEWER MAIN

N.T.S.

NOTES:

- SEE STANDARD SPECIFICATIONS FOR SANITARY SEWER MATERIALS FOR WATERTOWN FIRE DISTRICT (SHOWN ON THIS SHEET).



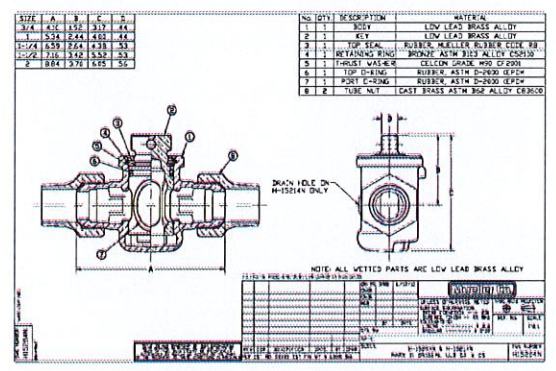
CONNECTION TO EXISTING MANHOLE

N.T.S.

NOTES:

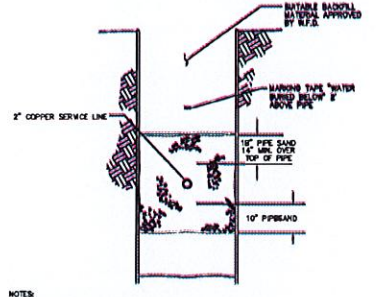
- INVERT ELEVATION OF 12" LONG STUB AT THE INSIDE FACE OF MANHOLE TO BE 1/4" HIGHER THAN EXISTING OUTLET INVERT ELEVATION.
- THE CONNECTION SHALL BE MADE WITH EQUIPMENT SPECIALLY DESIGNED TO CUT A SMOOTH HOLE WITHOUT SPALLING OR DAMAGE TO THE SHELL OR STRUCTURE.
- PPE CONNECTIONS THROUGH MH WALLS SHALL BE MADE BY GROUTING INTO THE WATERSTOP AS MANUFACTURED BY PRESS-SEAL GASKET CORPORATION OR APPROVED EQUAL AND NON-BRICK GROUT.
- AN INVERT SHALL BE FORMED OUT OF AN BRICK SHELF TO BE BUILT TO 0.8 OF THE DIAMETER OF PIPE EXTING THE MH.

CURB STOP DETAIL (2")



NOTES:

- SEE STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE MATERIALS FOR WATERTOWN FIRE DISTRICT (SHOWN ON THIS SHEET).

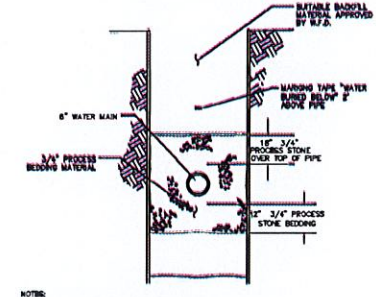


TRENCH SECTION WATER SERVICE LINE

N.T.S.

NOTES:

- SEE STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE MATERIALS FOR WATERTOWN FIRE DISTRICT (SHOWN ON THIS SHEET).

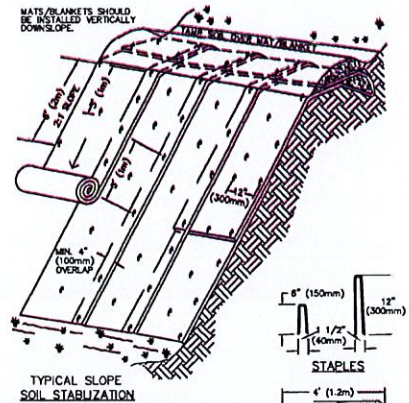


TRENCH SECTION WATER MAIN

N.T.S.

NOTES:

- SEE STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE MATERIALS FOR WATERTOWN FIRE DISTRICT (SHOWN ON THIS SHEET).

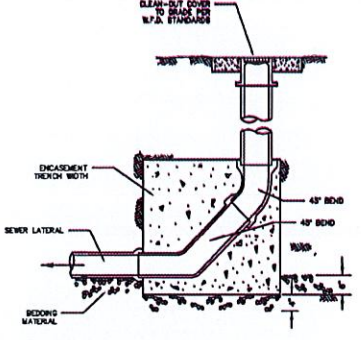


EROSION BLANKETS & TURF REINFORCEMENT MATS SLOPE INSTALLATION

N.T.S.

NOTES:

- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE 5000 SMI CONTRACT.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.



STANDARD CLEAN-OUT

N.T.S.

NOTES:

- CLEAN-OUT PIPE SIZE SHALL MATCH EXISTING LATERAL.
- IF EXISTING LATERAL AND CLEAN-OUTS SHALL BE 8-INCH OR AS APPROVED BY THE W.F.D.
- CURVE PIPE SECTION TO BE ENCASED IN CONTROLLED LOW STRENGTH MATERIAL OR GRANULAR FILL, AS DIRECTED BY THE W.F.D.

NOTE: ALL DETAILS SHOWN MAY BE REPLACED WITH EQUIVALENT PRODUCTS THAT MEET THE REQUIREMENTS OF THIS PLAN AND THE WATERTOWN FIRE DISTRICT AND ZONING REGULATIONS.



WATERTOWN FIRE DISTRICT
Standard Specifications for Sanitary Sewers Materials

PIPE (Service): 4" - Ductile Iron Class 52, Cement Lined Bituminous Seal Coat, push-on gasketed type joint
4" - SDR 35, push-on gasketed type joint

MANHOLE: Precast Manhole structures, bituminous coated, with factory installed watertight flexible sleeves, channels through manholes including shelf to be built of hard burned sewer brick.

MANHOLE FRAME AND COVER: Campbell Foundry pattern No. #1027 with the letters "W.F.D." on cover.

WYES: Push on type joint or mechanical joint with six inch (6") 45deg. bend.

LATERALS: 6" Ductile Iron Class 52, Cement Lined Bituminous Seal Coat, push on type joint - crushed stone bedding installed to a depth of 0.5 feet below pipe to springline.
6" Tyton Plugs installed at end of lateral.

TESTING: Low pressure air test - The minimum time required for air testing for the 0.5 psi pressure drop from 3.5 psi will be given by the Superintendent.

MINIMUM BURY: 42" (with District approval)

BEDDING MATERIAL: 3/4" crushed stone bedding to a depth of 0.5 feet below pipe to spring line (AWWA Standard C151 latest edition)



WATERTOWN FIRE DISTRICT
Standard Specifications for Water Main and Service Line Materials

PIPE: Ductile Iron Class 52, Cement Lined Bituminous Seal Coat (A.W.W.A. Standard C151 latest edition)

VALVE TYPE: Resilient Seated Gate Valves - Open Left (CCW).
Mechanical Joint - Non-Rising-Stem (NRS) with 2" square operating nut with box and cover.

VALVE MANUFACTURER: Mueller Co. A-2360 or District-approved equal
Valve Box Type U.S. Made only - 5 1/4" Cast Iron Slip Type

HYDRANT TYPE: 4 1/2" valve opening, 5 1/2 ft. bury, open left NST on 2-2 1/2" and 1-4 1/4" pumper nozzle, 6" M.J. Shoe and 1 1/2" pentagon operating nut.

HYDRANT MANUFACTURER: Mueller A 421 Super Centurion 250 or District-approved equivalent (Hydrant anchoring tee to be used on hydrant branches)

COPPER TUBING: Type "K", ASTM B88 - Size to be determined by District.

WATER SERVICES: Tapping, corporation stop, curb stop, curb box, water meter and accessories are provided by Watertown Fire District at the existing prices. (ONLY 3/4" or 1" Taps are done by the Fire District).

FITTINGS: U.S. Made Only - MJ, DI, CL350 A.W.W.A. Standard C153

RESTRAINT: MJ, DI, Retainer Glands or Megalug Glands as required.

TESTING & DISINFECTION: Hydrostatic and leakage testing are the responsibility of the contractor and must be performed by a qualified contractor/sub-contractor. A written report of test results shall be provided to the District. Test pressure will normally be 100 psi above normal operating pressure or as directed by the District. All lines to be hypochlorite tablet treated or disinfected in accordance with the procedures under A.W.W.A. Standard C601.

STANDARD BURY: 60" (5ft)

MINIMUM BURY: 42" (with District approval)

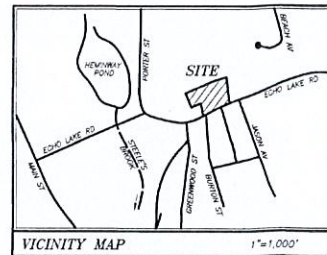
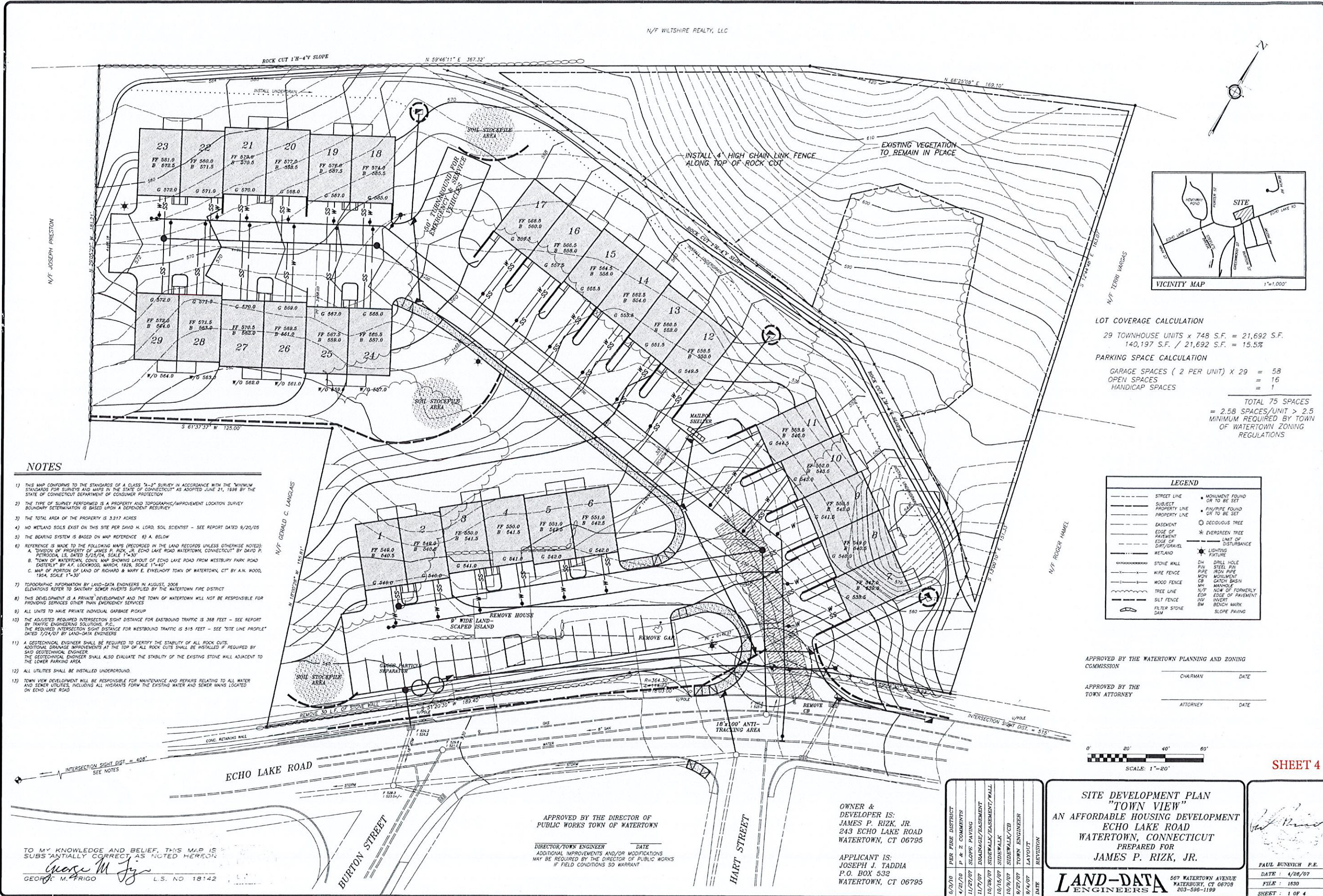
MINIMUM BURY AT CULVERT/CROSSING PIPES: Minimum 18" vertical spacing between culvert and crossing pipes. Insulation and District approval are required.

BEDDING MATERIAL: Main: 3/4" Process
Service Line: Pipe Sand - 24" (10" Bottom / 14" Top)



DD group
DESIGN DEVELOPMENT INC.
CONSULTING ENGINEERS - LAND SURVEYORS
MERIDEN, CT. 458 EAST MAIN STREET (203) 235-9809

SITE DETAILS
PREPARED FOR:
Premiere Properties LLC
243 Echo Lake Road
WATERTOWN CONNECTICUT
DATE: APRIL 16, 2023
SCALE: 1" = 20'
REVISIONS: 05/31/23 - WFD COMMENTS
DRAWN BY:
SHEET # 3 of 3



LOT COVERAGE CALCULATION
 29 TOWNHOUSE UNITS x 748 S.F. = 21,692 S.F.
 140,197 S.F. / 21,692 S.F. = 15.5%

PARKING SPACE CALCULATION
 GARAGE SPACES (2 PER UNIT) X 29 = 58
 OPEN SPACES = 16
 HANDICAP SPACES = 1

TOTAL 75 SPACES
 = 2.58 SPACES/UNIT > 2.5
 MINIMUM REQUIRED BY TOWN
 OF WATERTOWN ZONING
 REGULATIONS

NOTES

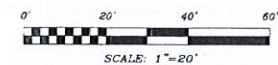
- THIS MAP CONFORMS TO THE STANDARDS OF A CLASS "A-2" SURVEY IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED JUNE 21, 1998 BY THE STATE OF CONNECTICUT DEPARTMENT OF CONSUMER PROTECTION
- THE TYPE OF SURVEY PERFORMED IS A PROPERTY AND TOPOGRAPHIC/IMPROVEMENT LOCATION SURVEY BOUNDARY DETERMINATION IS BASED UPON A DEPENDENT RESURVEY
- THE TOTAL AREA OF THE PROPERTY IS 3.217 ACRES
- NO WETLAND SOILS EXIST ON THIS SITE PER DAVID H. LORD, SOIL SCIENTIST - SEE REPORT DATED 5/20/05
- THE BEARING SYSTEM IS BASED ON MAP REFERENCE 6) A. BELOW
- REFERENCE IS MADE TO THE FOLLOWING MAPS (RECORDED IN THE LAND RECORDS UNLESS OTHERWISE NOTED):
 A. DIVISION OF PROPERTY OF JAMES P. RIZK, JR. ECHO LAKE ROAD WATERTOWN, CONNECTICUT BY DAVID P. PEDROSA, L.S. DATED 5/15/04, SCALE 1"=30'
 B. TOWN OF WATERTOWN, CONN. MAP SHOWING LAYOUT OF ECHO LAKE ROAD FROM WESTBURY PARK ROAD EASTERLY BY A.F. LOCKWOOD, MARCH, 1926, SCALE 1"=40'
 C. MAP OF PORTION OF LAND OF RICHARD & MARY E. EYKELHOFF TOWN OF WATERTOWN, CT BY A.N. WOOD, 1954, SCALE 1"=30'
- TOPOGRAPHIC INFORMATION BY LAND-DATA ENGINEERS IN AUGUST, 2006 ELEVATIONS REFER TO SANITARY SEWER INVERTS SUPPLIED BY THE WATERTOWN FIRE DISTRICT
- THIS DEVELOPMENT IS A PRIVATE DEVELOPMENT AND THE TOWN OF WATERTOWN WILL NOT BE RESPONSIBLE FOR PROVIDING SERVICES OTHER THAN EMERGENCY SERVICES
- ALL UNITS TO HAVE PRIVATE INDIVIDUAL GARBAGE PICKUP
- THE ADJUSTED REQUIRED INTERSECTION SIGHT DISTANCE FOR EASTBOUND TRAFFIC IS 368 FEET - SEE REPORT BY TRAFFIC ENGINEERING SOLUTIONS, P.C. THE REQUIRED INTERSECTION SIGHT DISTANCE FOR WESTBOUND TRAFFIC IS 515 FEET - SEE "SITE LINE PROFILE" DATED 1/24/07 BY LAND-DATA ENGINEERS
- A GEOTECHNICAL ENGINEER SHALL BE REQUIRED TO CERTIFY THE STABILITY OF ALL ROCK CUTS. ADDITIONAL DRAINAGE IMPROVEMENTS AT THE TOP OF ALL ROCK CUTS SHALL BE INSTALLED IF REQUIRED BY SAID GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER SHALL ALSO EVALUATE THE STABILITY OF THE EXISTING STONE WALL ADJACENT TO THE LOWER PARKING AREA.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- TOWN VIEW DEVELOPMENT WILL BE RESPONSIBLE FOR MAINTENANCE AND REPAIRS RELATING TO ALL WATER AND SEWER UTILITIES, INCLUDING ALL HYDRANTS FORM THE EXISTING WATER AND SEWER MAINS LOCATED ON ECHO LAKE ROAD

LEGEND

--- STREET LINE	● MONUMENT FOUND OR TO BE SET
--- SUBJECT PROPERTY LINE	○ FIN/PIPE FOUND OR TO BE SET
--- PROPERTY LINE	○ DECIDUOUS TREE
--- EASEMENT	○ EVERGREEN TREE
--- EDGE OF PAVEMENT	○ UNIT OF DISTURBANCE
--- EDGE OF DIRT/GRAVEL	○ LIGHTING FIXTURE
--- WETLAND	○ DRILL HOLE
--- STONE WALL	○ FIN STEEL FIN
--- WIRE FENCE	○ IRON PIPE
--- WOOD FENCE	○ MONUMENT
--- TREE LINE	○ CATCH BASIN
--- 8" SLT FENCE	○ MANHOLE
--- FILTER STONE DAM	○ NW/OF FORMERLY
	○ EDGE OF PAVEMENT
	○ INVERT
	○ BENCH MARK
	○ SLOPE PAVING

APPROVED BY THE WATERTOWN PLANNING AND ZONING COMMISSION
 CHAIRMAN DATE

APPROVED BY THE TOWN ATTORNEY
 ATTORNEY DATE



SHEET 4

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:
 GEORGE M. FRIGO L.S. NO 18142

APPROVED BY THE DIRECTOR OF PUBLIC WORKS TOWN OF WATERTOWN

DIRECTOR/TOWN ENGINEER DATE
 ADDITIONAL IMPROVEMENTS AND/OR MODIFICATIONS MAY BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS IF FIELD CONDITIONS SO WARRANT

OWNER & DEVELOPER IS:
 JAMES P. RIZK, JR.
 243 ECHO LAKE ROAD
 WATERTOWN, CT 06795

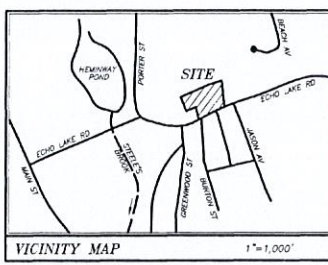
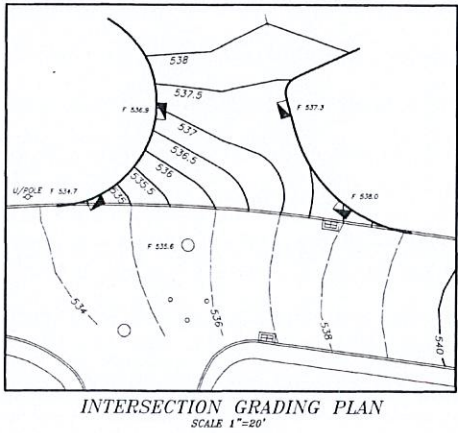
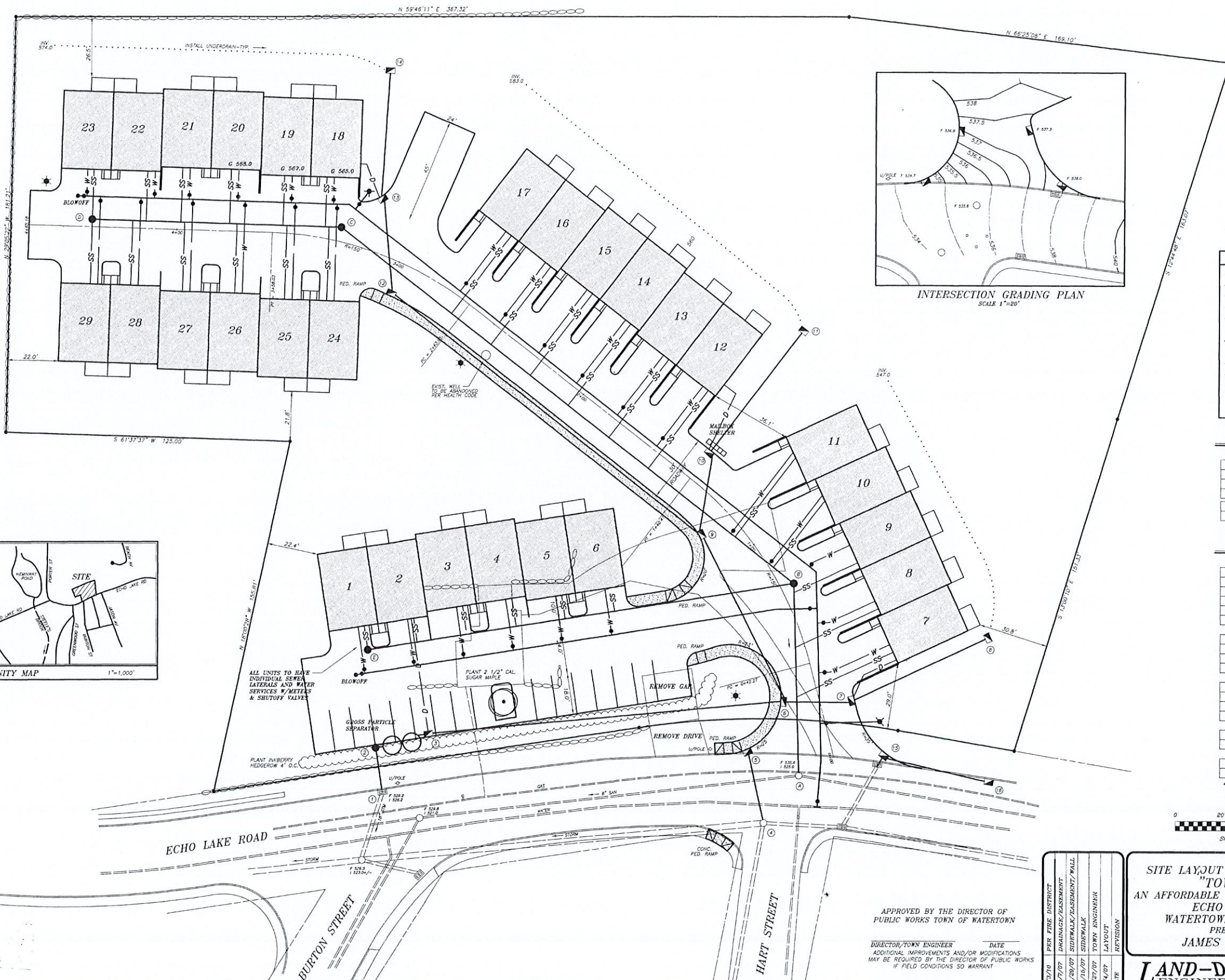
APPLICANT IS:
 JOSEPH J. TADIA
 P.O. BOX 532
 WATERTOWN, CT 06795

5/0/00	PER FIRE DISTRICT
4/21/10	P & Z COMMENTS
11/27/07	SLOPE PAVING
11/7/07	DRAINAGE/EASEMENT
10/29/07	SIDEWALK/EASEMENT/WALL
10/15/07	SIDEWALK
10/9/07	SIDEWALK/CB
9/27/07	TOWN ENGINEER
9/4/07	LAYOUT
	REVISION

SITE DEVELOPMENT PLAN
"TOWN VIEW"
 AN AFFORDABLE HOUSING DEVELOPMENT
 ECHO LAKE ROAD
 WATERTOWN, CONNECTICUT
 PREPARED FOR
 JAMES P. RIZK, JR.

LAND-DATA ENGINEERS
 667 WATERTOWN AVENUE
 WATERBURY, CT 06708
 203-596-1199

PAUL BUNEVICH P.E.
 DATE: 4/26/07
 FILE: 1830
 SHEET: 1 OF 4



LEGEND

--- STREET LINE	• MONUMENT FOUND OR TO BE SET
--- SUBJECT PROPERTY LINE	• PIN/PIPE FOUND OR TO BE SET
--- PROPERTY LINE	○ DECIDUOUS TREE
--- EASEMENT	* EVERGREEN TREE
--- EDGE OF PAVEMENT	--- LIMIT OF DISTURBANCE
--- EDGE OF DIRT/GRAVEL	--- WETLAND
--- WETLAND	• LIGHTING FIXTURE
--- STONE WALL	○H DRILL HOLE
--- WIRE FENCE	○ PIN STEEL PIN
--- WOOD FENCE	○ PIPE WOOD PIPE
--- TREE LINE	○ MONUMENT
--- SILT FENCE	○ CB CATCH BASIN
--- FILTER STONE DAM	○ MH MANHOLE
	○ N/O FORMERLY
	○ EOP EDGE OF PAVEMENT
	○ INV INVERT
	○ BM BENCH MARK

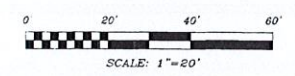
SANITARY CONSTRUCTION DATA

TYPE	T.F. EL.	INV. EL.	SIZE	LENGTH	% GRADE
A EX. MH	535.6	525.0	8"	82'	8.0
B MH	541.4	531.56	8"	253'	10.0
C MH	564.6	556.86	8"	110'	8.0
D MH	571.5	565.66	8"	190'	1.5

STORM DRAIN CONSTRUCTION DATA

TYPE	T.F. EL.	INV. EL.	SIZE	LENGTH	% GRADE
1 EX. CB	529.2	526.2	18"	17'	9.0
2 C-CB	538.5	527.5	18"	0'	0.0
3 C-CB	538.0	529.6	18"	153'	2.1
6 C-CB	536.9	532.9	15"	27'	6.0
7 C-CB	537.3	534.5	15"	63'	10.0
8 CL-CB	545.5	540.8	15"	77'	7.4
9 C-CB	544.0	541.0	15"	73'	11.0
10 C-CB	545.9	542.9	15"	32'	5.9
11 CL-CB	554.5	549.5	15"	65'	10.0
12 C-CB	561.3	558.3	15"	169'	6.3
13 C-CB	563.5	560.5	15"	39'	5.6
14 CL-CB	570.5	565.8	15"	53'	10.0
4 EX. MH	534.3	530.8	15"	28'	2.0
5 C-CB	534.7	531.6	15"	46'	6.3

* DENOTES TEST PIT REQUIRED TO VERIFY WATER/GAS LINE DEPTHS



SHEET 5

APPROVED BY THE DIRECTOR OF PUBLIC WORKS TOWN OF WATERTOWN

DIRECTOR/TOWN ENGINEER DATE

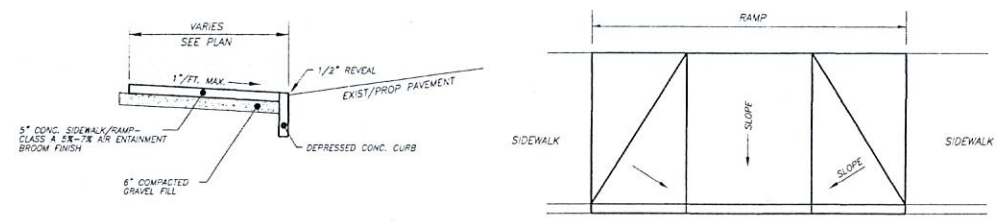
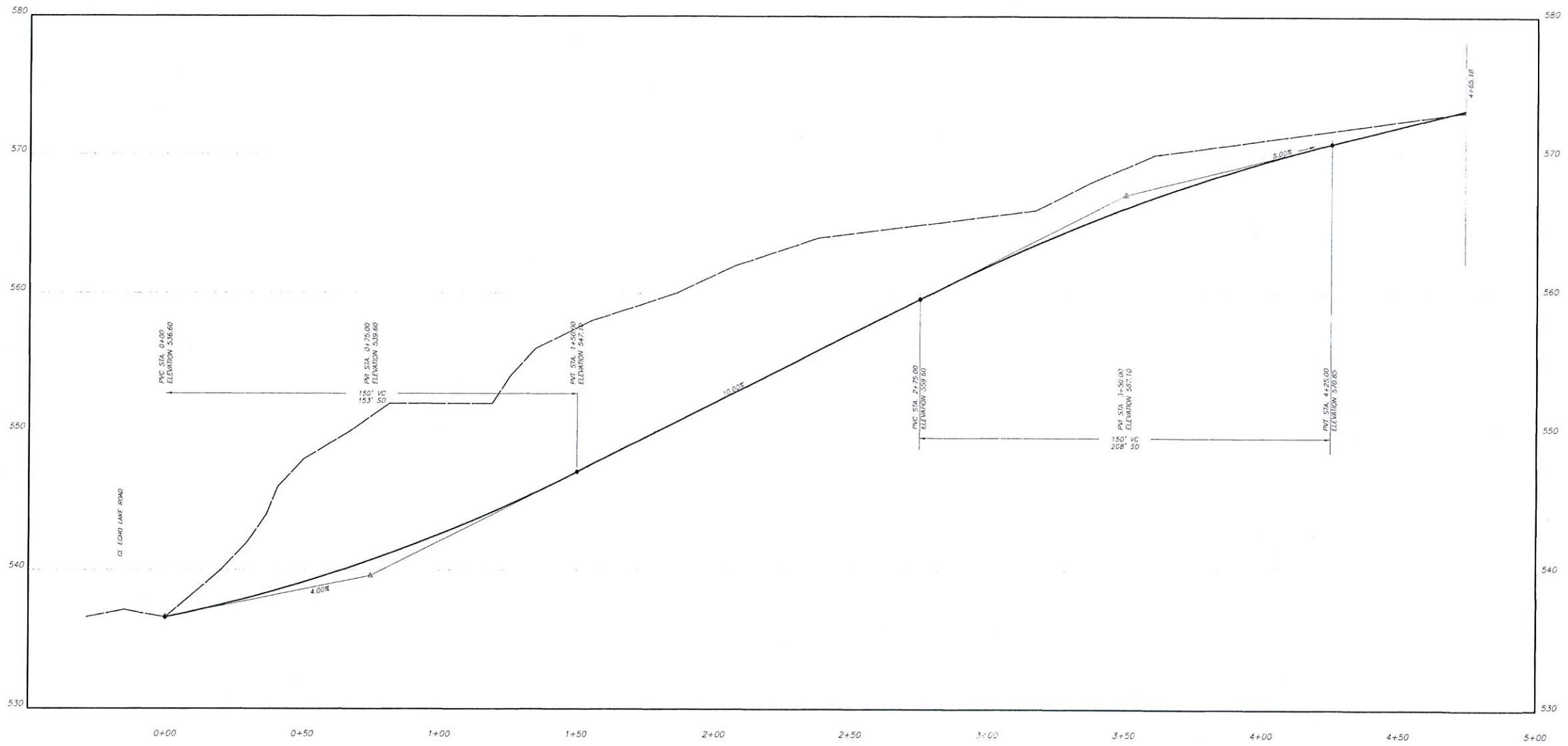
ADDITIONAL IMPROVEMENTS AND/OR MODIFICATIONS MAY BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS IF FIELD CONDITIONS SO WARRANT

5/2/10	PER FIRE DISTRICT
11/7/07	IMPROVEMENT/EASEMENT
10/20/07	SIDEWALK/EASEMENT/WALL
10/19/07	LAYOUT
9/27/07	TOWN ENGINEER
9/4/07	REVISION
	DATE

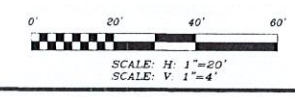
SITE LAYOUT AND UTILITY PLAN
"TOWN VIEW"
 AN AFFORDABLE HOUSING DEVELOPMENT
 ECHO LAKE ROAD
 WATERTOWN, CONNECTICUT
 PREPARED FOR
JAMES P. RIZK, JR.

LAND-DATA ENGINEERS
 567 WATERTOWN AVENUE
 WATERTOWN, CT 06708
 203-596-1199

PAUL BUNEVICH P.E.
 DATE: 5/18/07
 FILE: 1630
 SHEET: 2 OF 4



TYPICAL PEDESTRIAN RAMP DETAIL



SHEET 6

APPROVED BY THE DIRECTOR OF PUBLIC WORKS TOWN OF WATERTOWN

DIRECTOR/TOWN ENGINEER _____ DATE _____

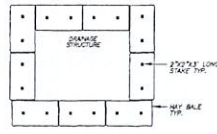
ADDITIONAL IMPROVEMENTS AND/OR MODIFICATIONS MAY BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS IF FIELD CONDITIONS SO WARRANT

ROADWAY PROFILE AND DETAILS
 "TOWN VIEW"
 AN AFFORDABLE HOUSING DEVELOPMENT
 ECHO LAKE ROAD
 WATERTOWN, CONNECTICUT
 PREPARED FOR
 JAMES P. RIZK, JR.

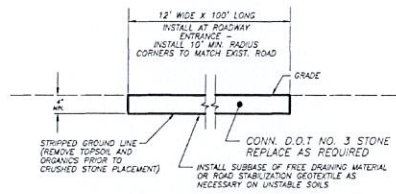
LAND-DATA ENGINEERS
 567 WATERTOWN AVENUE
 WATERBURY, CT 06708
 203-596-1199

DATE	REVISION
8/4/07	10% GRADE

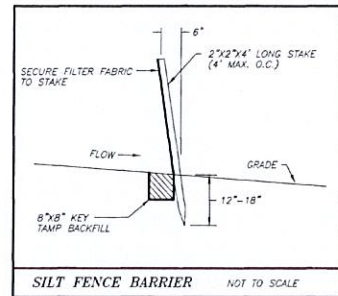
PAUL BUNEVICH P.E.
 DATE: 4/26/07
 FILE: 1630
 SHEET: 3 OF 4



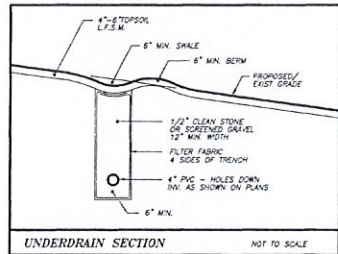
HAY BALE RING



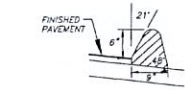
ANTI-TRACKING AREA



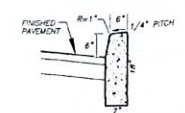
SILT FENCE BARRIER NOT TO SCALE



UNDERDRAIN SECTION NOT TO SCALE

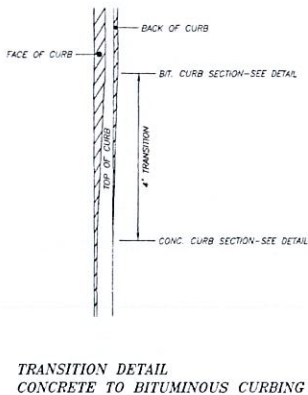


BITUMINOUS CURB DETAIL

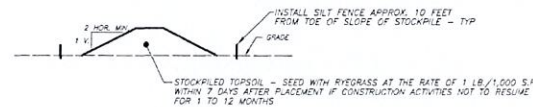


CONCRETE CURB DETAIL

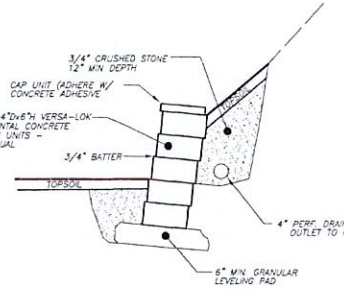
CONC. TO BE CLASS 10, W/5% ENTRAINED AIR EXP. JOINTS TO BE 1/2" PREFORMED BY 4" x 6" MIN. x 40' MAX. SPACING EXPOSED SURFACES TO BE FLOAT FINISHED SEE CONC. TO BIT. TRANSITION DETAIL



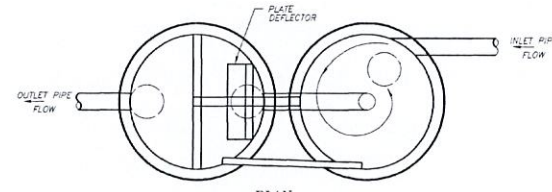
TRANSITION DETAIL CONCRETE TO BITUMINOUS CURBING



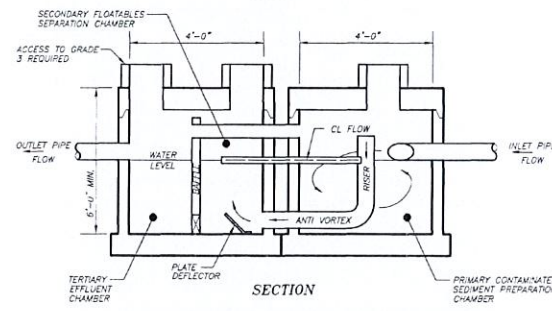
TOPSOIL STOCKPILE



REINFORCED BLOCK RETAINING WALL

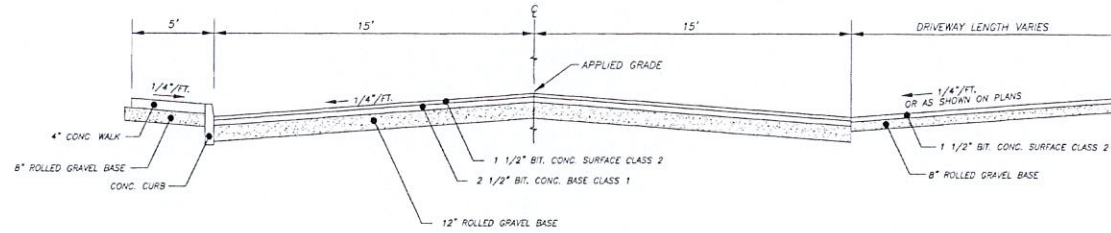


PLAN

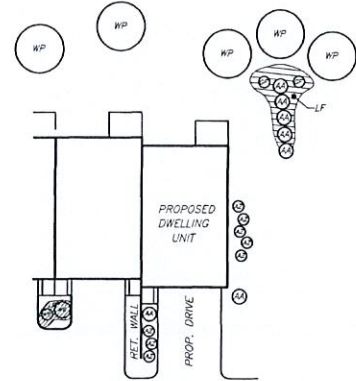


SECTION

GROSS PARTICLE SEPARATOR MODEL V2



TYPICAL ROADWAY CROSS-SECTION



PROPOSED PAVEMENT

TYPICAL UNIT PLANTING PLAN

PLANTING LIST

QNTY.	KEY	COMMON NAME	LATIN NAME	SIZE/SPACING
7	AA	AMERICAN ARBORVITAE	THUJA OCCIDENTALIS	36" TALL
2	WB	CLUMP WHITE BIRCH	BETULA	8"-10" TALL
2	GF	GOLDFINGER	POTENTILLA FRUTICOSA	1 GAL. CONT.
8	AZ	AZALEA VARIETIES	AZALEA	2 GAL. CONT.
6	LF	LOWFAST	COTONEASTER DAMMERI	24" O.C.
5	IB	INKBERRY	ILEX GLABRA COMPACTA	2 GAL. CONT.
5	WP	WHITE PINE	PINUS STROBUS	8"-10" TALL

NOTE: THIS PLAN IS INTENDED TO DEPICT A GENERAL PLANTING SCHEDULE FOR EACH UNIT - THE ACTUAL NUMBER, PLACEMENT AND VARIETY MAY VARY DEPENDING ON AVAILABILITY, FINAL GRADING, FIELD CONDITIONS, ETC.

APPROVED BY THE DIRECTOR OF PUBLIC WORKS TOWN OF WATERTOWN

DIRECTOR/TOWN ENGINEER DATE
ADDITIONAL IMPROVEMENTS AND/OR MODIFICATIONS MAY BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS IF FIELD CONDITIONS SO WARRANT

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE CARRIED OUT AS SPECIFIED ON THESE PLANS OR AS REQUIRED TO ACCOMMODATE FIELD CONDITIONS.
- FOR DETAILS NOT SHOWN - SEE TOWN OF WATERTOWN SUBDIVISION REGULATIONS
- EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM AVAILABLE RECORD MAPS AND ARE NOT GUARANTEED CORRECT OR COMPLETE. THE CONTRACTOR/EXCAVATOR SHALL CALL BEFORE-YOU-DIG (1-800-822-4455) AND SHALL BE RESPONSIBLE FOR VERIFICATION OF PERTINENT UNDERGROUND UTILITY LINES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS AND PAYING FOR ALL FEES REQUIRED TO CARRY OUT THE PROPOSED WORK. ALL WORK SHALL BE EXECUTED IN A TIMELY AND WORKMANLIKE MANNER.

EROSION & SEDIMENT CONTROL NARRATIVE

THE PROJECT CONSISTS OF 20 NEW CONDO UNITS ON 3.21 ACRES WHICH ALREADY HAS AN EXISTING DWELLING AND OTHER STRUCTURES WHICH WILL BE REMOVED PRIOR TO CONSTRUCTION. A PRIVATE DRIVEWAY WILL BE BUILT TO ACCESS THE UNITS. ALL UNITS WILL BE SERVICED BY TOWN WATER AND SEWER. STORM WATER RUNOFF WILL BE COLLECTED AND TREATED BY AN UNDERGROUND GROSS PARTICLE SEPARATOR VORTECHNICS 2 CHAMBER V2B-1 MODEL OR EQUAL.

THE SITE IS LOCATED IN THE EAST CENTRAL PORTION OF THE TOWN ON THE NORTH SIDE OF ECHO LAKE ROAD OPPOSITE HART AND BURTON STREETS. OTHER THAN THE DWELLING, DRIVEWAY AND LAWN AREAS THE SITE IS WOODED. NO WETLAND SOILS WERE FOUND ON THE SITE PER FIELD INVESTIGATION BY DAVID LORD OF SOILS RESOURCE ASSOCIATES.

DESIGN CRITERIA FOR THE EROSION AND SEDIMENT CONTROL MEASURES ARE FOUND IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. CONSTRUCTION DETAILS ARE LOCATED ON THIS SHEET AT LEFT. THE MAINTENANCE PROGRAM FOR THE EROSION AND SEDIMENT CONTROL MEASURES IS FOUND IN THE SECTION "GENERAL REQUIREMENTS" BELOW.

POSSIBLE PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT INCLUDE:

STATE OF CONNECTICUT - D.E.P. GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER (N.P.D.E.S.)

ENGINEERING REPORTS WHICH ARE CONSIDERED PART OF THIS PLAN INCLUDE:

DRAINAGE AND GUTTER FLOW CALCULATIONS - REVISED TO 9/5/07 BY PAUL BUNEVICH P.E.

SEQUENCE OF CONSTRUCTION: (AND TIME FOR ACTIVITY)

ANTICIPATED START DATE IS FALL 2007. COMPLETION DATE IS APPROXIMATELY 2 YEARS AFTER IN 2009.

- OBTAIN ALL REQUIRED PERMITS AND APPROVALS AND NOTIFY THE APPROPRIATE TOWN AGENCIES OF DATE OF COMMENCEMENT - FALL 2007
- CALL "CALL BEFORE YOU DIG" FOR UTILITY MARKINGS IN ECHO LAKE ROAD - 48 HOURS
- SCHEDULE A PRECONSTRUCTION MEETING WITH PUBLIC WORKS DEPARTMENT TO DISCUSS LATEST CONSTRUCTION RELATED ISSUES - 3 DAYS
- INSTALL SILT FENCE BARRIERS AS SHOWN ON THE PLANS FOR DRIVEWAY AND OVERLAND GRADING - 4 DAYS
- DEMOLISH HOUSE, CUT TREES AND CLEAR AND GRUB AREAS FOR ROAD AND BUILDING CONSTRUCTION - 3-4 WEEKS
- REMOVE AND STOCKPILE TOPSOIL IN APPROPRIATE AREAS, SEED WITH RYE GRASS AND PROTECT STOCKPILES WITH SILT FENCE - 1 MONTH
- INSTALL ANTI-TRACKING PAD AT THE NEW ENTRANCE DRIVE - 1 DAY
- EXCAVATE ROCK AREAS PER DIRECTION OF GEOTECHNICAL ENGINEER - 1 TO 2 MONTHS
- GRADE DRIVEWAY AND PARKING AREAS TO PROPOSED SUBGRADE - 2 WEEKS
- INSTALL ROADWAY DRAINAGE AND RELATED STRUCTURES - 1 MONTH
- SAW CUT PAVEMENT IN ECHO LAKE ROAD FOR NEW SANITARY SEWER CONNECTION, INSTALL SANITARY SEWER AND STORM DRAINAGE IN THE NEW DRIVE, CONNECT DRAINAGE PIPING TO EXISTING CATCH BASIN IN ECHO LAKE ROAD - 1 MONTH
- SAW CUT PAVEMENT AND TAP WATER MAIN FOR WATER CONNECTION, INSTALL MAIN IN DRIVEWAY WITH HYDRANTS AND GATES AS SHOWN - 2 WEEKS
- FOR INDIVIDUAL BUILDING CONSTRUCTION THE FOLLOWING SCHEDULE APPLIES: (3-6 MONTHS - TYP.)
 - INSTALL SILT FENCE AS SHOWN OR AS REQUIRED
 - FINAL CLEARING OF BUILDING AREA, REMOVAL OF TREES, STUMPS ETC.
 - EXCAVATION FOR FOUNDATION
 - INSTALLATION OF FOUNDATION - AS-BUILT PLAN TO BE SUBMITTED TO WATERTOWN ZONING DEPT.
 - CONSTRUCTION OF BUILDING
 - INSTALLATION OF WATER SERVICE, SANITARY AND STORM LATERALS - INSPECTION BY APPROPRIATE OFFICIAL
 - FINAL GRADING OF LOT, LOAM, SEED & MULCH DISTURBED AREAS
- PLACE ROADWAY AND PARKING GRAVEL SUBGRADE - 1 WEEK
- PLACE FIRST COURSE OF BIT. CONC. PAVEMENT. INSTALL BIT. CONC. CURBING - 1 WEEK
- PLACE WEARING COURSE OF BIT. CONC. PAVEMENT. - 1 WEEK
- PLACE A MINIMUM OF 5" OF TOPSOIL ON ALL DISTURBED AREAS, DETENTION BASIN BERM AND ROADWAY SHOULDERS FERTILIZE, SEED AND MULCH AREAS IMMEDIATELY. - 2 WEEKS
- SEDIMENTATION CONTROLS TO REMAIN IN PLACE UNTIL GROUND COVER IS ESTABLISHED. REMOVE SEDIMENT FROM DRAINAGE STRUCTURES AND DISPOSE OF PROPERLY. - 2 WEEKS

GENERAL REQUIREMENTS:

- THE OWNER, JAMES P. RIZK, JR. IS RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN AS SPECIFIED. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND TIMELY MAINTENANCE OF SAID MEASURES, NOTIFYING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE LOCAL GOVERNMENT BODY OF ANY TRANSFER OF THIS RESPONSIBILITY IF THE TITLE OF THE LAND IS TRANSFERRED. OWNER'S TELEPHONE NO. IS 860-945-8049.
- ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE STATE OF CONNECTICUT "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", AS SPECIFIED HEREIN AND AS DIRECTED BY STATE AND LOCAL OFFICIALS.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. ALL MEASURES TO BE INSPECTED WEEKLY AND/OR PRIOR TO PREDICTED RAINFALL EVENTS. ALL MEASURES TO HAVE SILT REMOVED PRIOR TO RAINFALL OR AS REQUIRED. ALL SILT TO BE DISPOSED OF PROPERLY IN AREAS CONSISTENT WITH THE INTENT OF THE PLAN. ADDITIONAL EROSION CONTROL DEVICES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD AS REQUIRED.
- LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION SHALL BE ACCOMPLISHED AS SOON AS PRACTICAL.
- DRAINAGE STRUCTURES SHALL BE PROTECTED WITH HAY BALE BARRIERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL AREAS ARE SUITABLY STABILIZED.
- DUST CONTROL ON EXPOSED SOIL SURFACES IS TO BE IMPLEMENTED BY ONE OF THE FOLLOWING METHODS:
 - THE EXPOSED SURFACE SHALL BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST OR
 - PLACE LOOSE GRANULES OF CALCIUM CHLORIDE BY SPREADER AT A RATE THAT WILL KEEP THE SURFACE MOIST.

SCALE: NONE

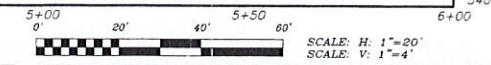
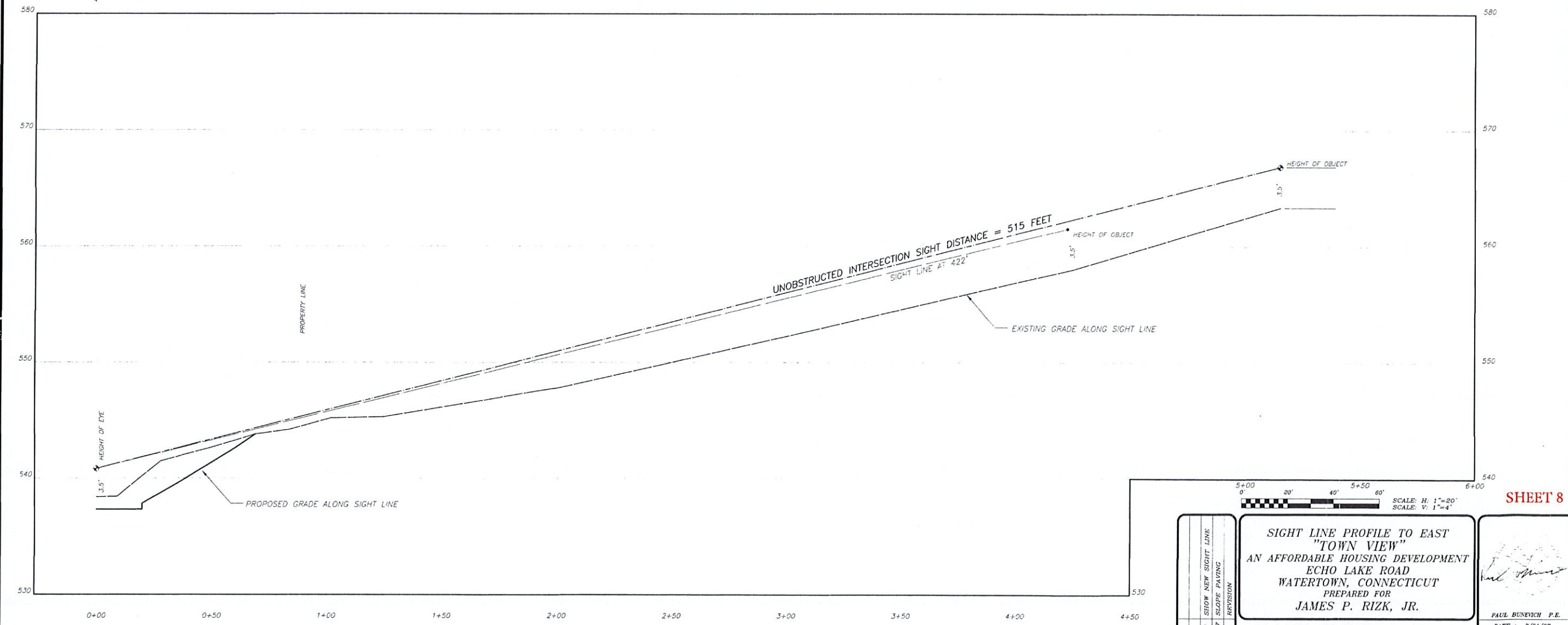
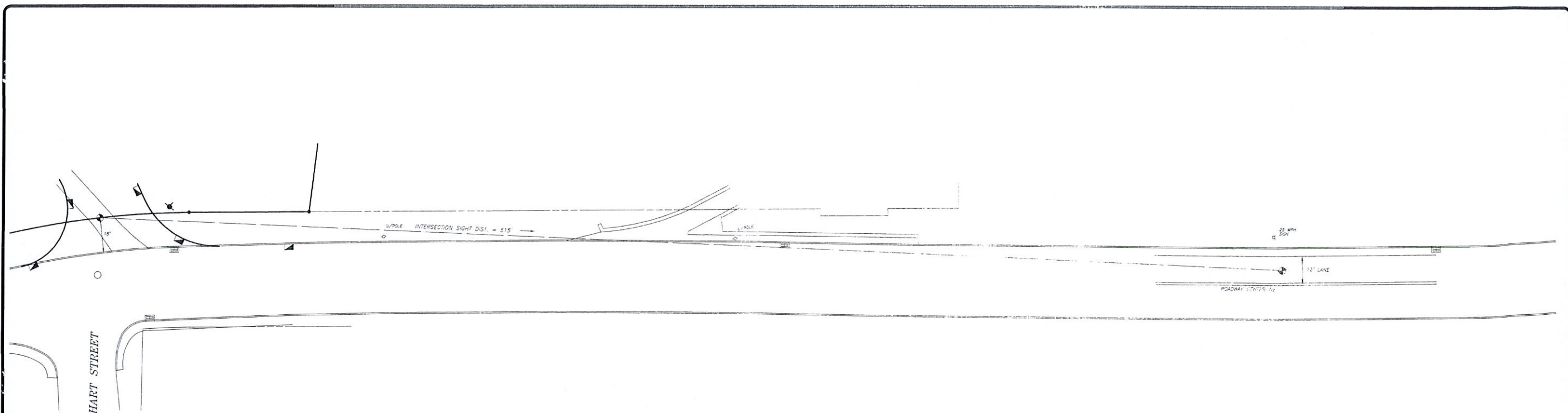
SHEET 7

CONSTRUCTION DETAILS & NOTES
"TOWN VIEW"
AN AFFORDABLE HOUSING DEVELOPMENT
ECHO LAKE ROAD
WATERTOWN, CONNECTICUT
PREPARED FOR
JAMES P. RIZK, JR.

LAND-DATA ENGINEERS
567 WATERTOWN AVENUE
WATERBURY, CT 06708
803-598-1192

PAUL BUNEVICH P.E.
DATE: 4/26/07
FILE: 1630
SHEET: 4 OF 4

DATE	REVISION
10/29/07	SIDEWALK
10/15/07	SIDEWALK
8/14/07	CROSS-SECTION



SHEET 8

4/20/09	SHOW NEW SIGHT LINE
11/27/07	SLOPE PAVING
DATE	REVISION

SIGHT LINE PROFILE TO EAST
"TOWN VIEW"
AN AFFORDABLE HOUSING DEVELOPMENT
ECHO LAKE ROAD
WATERTOWN, CONNECTICUT
PREPARED FOR
JAMES P. RIZK, JR.

LAND-DATA ENGINEERS
567 WATERTOWN AVENUE
WATERTOWN, CT 06708
203-596-1199

PAUL BUNEVICH P.E.
DATE: 7/24/07
FILE: 1630
SHEET: 1 OF 1



Mr. Mark Massoud, Director of Land Use and Building Services / Zoning Official
Town of Watertown, CT
61 Echo Lake Road
Watertown, CT 06795

RE: Property Located on Lovley Drive / Kimberly Lane, Pondview Drive, AKA: Highview Estates

Dear Mr. Massoud:

Pursuant to our recent informal meeting, Lovley Development, Inc. would appreciate the opportunity to present preliminary information concerning a proposed residential development located at the property referenced above the Watertown's Planning and Zoning Commission.

Kindly let us know which meeting date could accommodate our request.

We look forward to hearing from you and working with you and the Town again.

Sincerely,

Mark Lovley, President
Lovley Development, Inc.

cc: Andrew Quirk, PE - Vice President
Kratzert, Jones & Associates, Inc.

Stephanie E. Cummings
Partner
Direct: 203-575-2649
Fax: 203-575-2600
SCummings@carmodylaw.com

50 Leavenworth Street
P.O. Box 1110
Waterbury, CT 06702

June 1, 2023

Mark Massoud
Director of Land Use and Building Services
Zoning Official
Town of Watertown
61 Echo Lake Road
Watertown, CT 06795

VIA EMAIL ONLY: massoud@watertownct.org

Re: IG-80 Zoning Districts

Dear Mr. Massoud:

I am writing to you on behalf of my client, ARS Associates LLC ("ARS"), who wishes to be placed on the upcoming Planning and Zoning Commission ("Commission") agenda for the June 7, 2023 meeting. Specifically, the members of ARS wish to facilitate an informal conversation with the Commission regarding the possibility of adding indoor storage facilities as a permitted use in IG-80 districts.

By way of background, IG-80 districts are designed to "accommodate basic industrial uses... and [are] intended to be less restrictive than the Restricted Industrial Districts." *Watertown Zoning Regulations, Section 26.1*. As is highlighted in pink on the attached map, IG-80 districts make up only a very small portion the Town of Watertown ("Town").

Current permitted uses in IG-80 districts include general offices, banks or financial institutions, and research and development facilities, among other uses. *Watertown Zoning Regulations, Section 26.2*. Indoor storage facilities are not currently permitted in IG-80 districts. Notably, indoor storage facilities are permitted in the more restrictive IR-200 districts as well as in B-D districts.

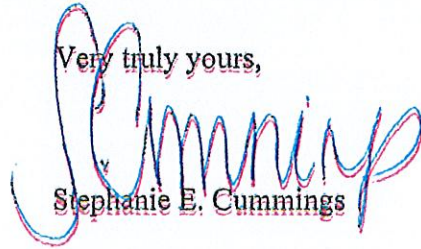
Here, ARS, which owns real property at 18 Falls Avenue (located within one of the few IG-80 districts), seeks the Commission's input on amending the Town's zoning regulations to permit indoor storage facilities in IG-80 districts. This change follows the spirit of the Town's regulations given that the Commission has already permitted such storage facilities in more restrictive districts. Furthermore, the use of an indoor storage facility fits seamlessly with other

business uses, such as general offices. The use as an indoor storage facility would also likely be less impactful to the surrounding community than other currently permitted IG-80 uses such as trash hauling, septic tank cleaners, and trucking services.

Although any development is in its infancy, ARS anticipates that an indoor storage facility at 18 Falls Avenue could look similar to the attached rendering. Of course, full details of the proposed facility would be provided in the ordinary course of approval.

We look forward to meeting with you and the Commission for robust conversation on the concept. Thank you.

Very truly yours,



Stephanie E. Cummings

Enclosures
SEC/ro



SECOR, CASSIDY & MCPARTLAND, P.C.
ATTORNEYS AT LAW

GAH. E. MCTAGGART
THOMAS G. PARISOT
PATRICK W. FINN
DAVID J. BOZZUTO
JAMES R. STRUB
CONNOR P. MCNAMARA
AMY B. SMITH
WILLIAM F. BREG
ANNE MURDICA*
ERIC R. NACLERIO

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P.O. Box 2818
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Fax (203) 756-5762
www.ctlawyers.com

Southbury Office:
555 Heritage Road, Suite 105
P.O. Box 304
Southbury, CT 06488
(203) 264-8223
Fax (203) 264-6730

*Also Admitted in New York

Tax Counsel

JOHN J. PALMERI, CPA, JD, LL.M., [†]*

[†] Taxation

June 2, 2023

Watertown Planning and Zoning Commission
61 Echo Lake Road
Watertown, CT 06795
Attn: Mark Massoud

Re: Request for Preliminary Discussion
1490 Echo Lake Road
Possible Zone Map Change
Possible Zone Text Change

Dear Mr. Massoud and Commissioners:

This firm represents Kelvin Cenkolli who is in discussions to acquire 1490 Echo Lake Road. Mr. Cenkolli is interested in changing the zone of the property to IG-80 and potentially adding a Masonry Supply use to either the IG-80 zone or to the IR-80 zone. A preliminary discussion with the Commission would serve to provide guidance to ensure that any requested changes are consistent with the Commission's vision for this area.

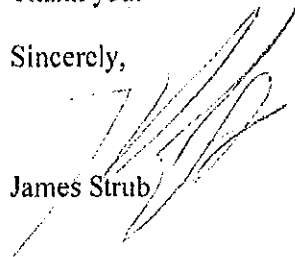
Please add Kelvin Cenkolli and 1490 Echo Lake Road to the Agenda for June 7, 2023, for a preliminary discussion.

Please let me know if you have any questions.

Thank you.

Sincerely,

James Strub



PILICY RYAN & WARD, P.C.
ATTORNEYS AT LAW

MAY 31 2023
Received Planning and Zoning Office

FRANKLIN G. PILICY
fpilicy@prwpc.com
Also Admitted in MA

www.PRWPC.com

CHARLES A. RYAN
cryan@prwpc.com
Also Admitted in MA

WILLIAM W. WARD
billward@prwpc.com
Fellow, College of Community
Association Lawyers

235 Main Street
Watertown, Connecticut 06795
Phone (860) 274-0018
Fax (860) 274-0061

JILLIAN A. JUDD
jjudd@prwpc.com

DONALD J. RINALDI
drinaldi@prwpc.com
As of Counsel to the Firm

1318 Bedford Street
Stamford, Connecticut 06905
Phone (203) 975-1151
Fax (203) 975-1821

BENJAMIN A. SAAVEDRA
bsaavedra@prwpc.com
Also Admitted in MA

May 31, 2023

SENT VIA HAND DELIVERY

Town of Watertown
Zoning Officer Mark Massoud
61 Echo Lake Road
Watertown, CT 06795

**RE: The Renaissance Galleria, LLC ("Owner")
Sealy Property
Request for Zoning Permit as Nonconforming Use**

Zoning Officer Mark Massoud:

The Owner is requesting a zoning permit to confirm that the Sealy property may be used for the purposes described herein as a non-conforming use. In support of this request, the Owner submits the following.

1. The Owner is the Owner of certain property located at 0 Hillside Avenue, 25 Hillside Avenue, 31 Hillside Avenue, and 6 Riverside Street. This property consists of approximately 9+/- Acres ("Sealy Property").
2. The Sealy Property was improved with a Building with a footprint of approximately 100,000 square feet. The Building included two stories with a height of approximately 60 feet. The Building was constructed and used for manufacturing, warehouse, distribution, and outdoor storage purposes beginning decades before the Town of Watertown adopted zoning regulations in 1955. Although manufacturing ceased during the 1980s, the Building remained, and Sealy continuously marketed the Property. The Property did not sell due to contamination and consequent remediation requirements.
3. Sealy engaged in environmental remediation activities continuously for more than 40 years.
4. During 2016, the Town of Watertown and Sealy entered discussions concerning the Town of Watertown request that Sealy demolish the Building.

5. During 2016, the Sealy Building was demolished but the foundation and floor (footprint) remain.
6. Sealy agreed to demolish the Building on the condition that Sealy had the right to rebuild on the same footprint at the same size. This agreement is evidenced by the following two emails:

“Sealy Attorney 2-3-16

“ Hi Tom. Can you please schedule a meeting with the Watertown Town attorney to confirm that if Sealy demolishes the Building on the Watertown site and maintains the Building footprint after demolition that a new structure can be built on that footprint (same size). Our understanding is that the new zoning ordinance will allow us to maintain the original Building footprint and to build a new Building of the same size. Please review the new Town of Watertown Building ordinance and get some written confirmation from the Town attorney that we will be allowed to maintain the Building footprint after demolition and to construct a new Building of the same size. Of course, the new Building will be constructed by a subsequent owner. We don't want to demolish the Building and then be stuck with a new ordinance that limits the size of a new Building that is smaller and reduces the value of our property.”

Watertown Town Manager and Economic Development

“Thought I'd let you know that the proposed changes to our P&Z regulations which would affect your property and your ability to keep the current footprint have now become official as of May 15, 2015.””

CONNECTICUT LAW PROTECTION OF NON-CONFORMING USE OF PROPERTY

A nonconforming use is a use established prior to zoning regulations, or which was established prior to a change in regulations. The right to continue a nonconforming use is protected by the Statute. General Statutes Section 8-2 provides in part that “zoning regulations shall not prohibit the continuance of any non-conforming use, Building or structure existing at the time of adoption of such regulations.” Case law confirms that a nonconforming use is a vested right that adheres to the land itself, and is not forfeited by a purchaser who acquires it with knowledge of the regulations which are inconsistent with the existing use.

Public Act 89-277 provides that zoning regulations “shall not provide for the termination of any nonconforming use solely as a result of non-use for a specified period of time without regard to the intent of the property owner to maintain that use.” There is one case where a nonconforming use was not used since 1966 and a court ruled that the use could be resumed in 1991 because there was no intent of abandonment. *Davis v. ZBA of Fairfield*, 8 Conn L. RPTR 753, 1993, WL 29036.

A nonconforming right to continue a nonconforming use also includes the right to use the nonconforming Building for a use permitted under the zoning regulations, *Petruzzi v. ZBA of Oxford*, 176 CONN., 479 (1979).

PERTINENT WATERTOWN ZONING REGULATIONS

Section 5.1.1 "5.1 Intent 5.1.1 Within the Zoning Districts established by these Regulations there exist lots, uses, and structures which were lawful at the time these Regulations were adopted or amended but which would be prohibited, regulated, or restricted under the provisions of these Regulations or future amendments. Such lots uses, and structures are declared by these Regulations to be legally non-conforming, as defined in Section 2 of these Regulations. (Effective date 5-15-15)"

Sealy, by leaving the foundation footprint, and the exchange of e-mails evidence an intent to maintain the right to keep the same square footage. (Non-Conforming)

A nonconforming use is not terminated by transfer of ownership.

Zoning regulations may allow for the change of one non-conforming use to another non-conforming use, generally, if the other non-conforming use is considered less intensive.

Regulations Section 5.6.5 provides "A nonconforming use may be changed by Site Plan approval in accordance with Section 8 to another nonconforming use by a 2/3 (five) affirmative vote of the Commission following a public hearing. In approving such a change, the Commission shall find that the proposed use is more appropriate to the District than the existing nonconforming use. In permitting such change, the Commission may attach such conditions and safeguards as may be required to protect public health, safety, and general welfare to ensure continued compliance with these Regulations. (Effective date 5-15-15)"

A non-conformity has the right to continue the same use of the property as existed before the zoning regulations, in this case, manufacturing, warehouse, distribution, and outdoor storage.

SUMMARY OF SEALY HISTORICAL USE

There is no dispute that Sealy used this property for decades before Zoning for the purposes of manufacturing, warehouse, distribution, and outdoor storage. There is no dispute that Sealy demolished the Building at the request of the Town due to constant problems with children and others getting inside of the Building. There is no dispute that Sealy intended to reserve the right to rebuild at a minimum the same Building on the same 100,000-square-foot footprint. This includes the right to continue the same uses of manufacturing, warehouse, distribution, and outdoor storage. Attached please find pictures of the Sealy Building taken prior to demolition.


OWNER REQUEST FOR ZONING PERMIT

Specifically, the Owner is seeking a zoning permit to continue the nonconforming use for a Building of up to 100,000 square feet on the same footprint consisting of two stories up to 60 feet in height. The uses include the same Sealy uses of manufacturing, warehouse, distribution, and outdoor storage.

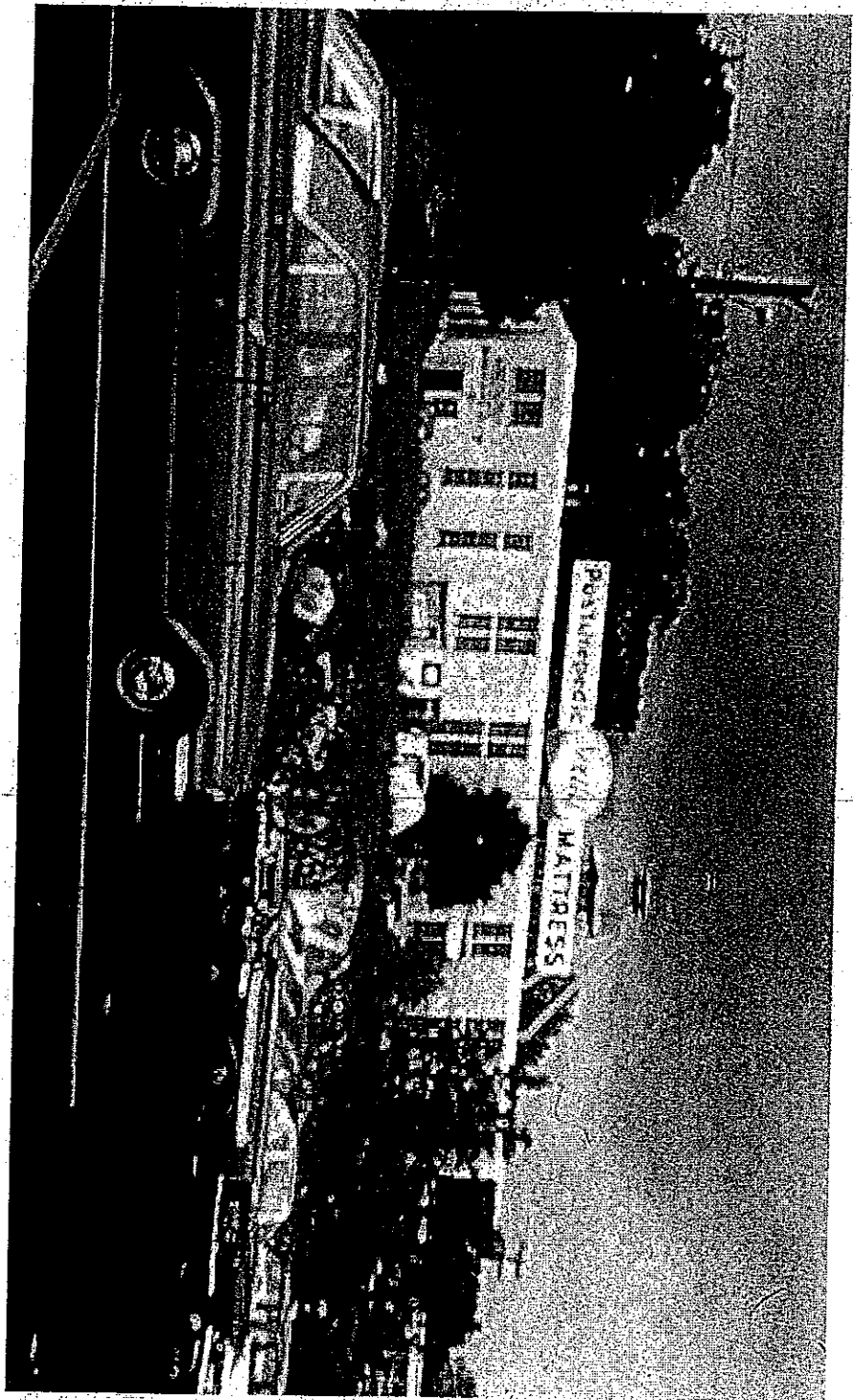
In addition, the Owner is seeking a zoning permit that the Sealy right to continue the nonconforming Building includes the right to use the property for any permitted use in the Oakville Central Business District (B-C District) (Regs Section 15).

The Owner respectfully requests the zoning permit be issued at the earliest possible date. The Owner is seeking to begin marketing the property in accordance with its protected rights to continue the documented nonconforming uses as set forth herein.

If you have any questions or concerns, please contact the undersigned at your convenience.

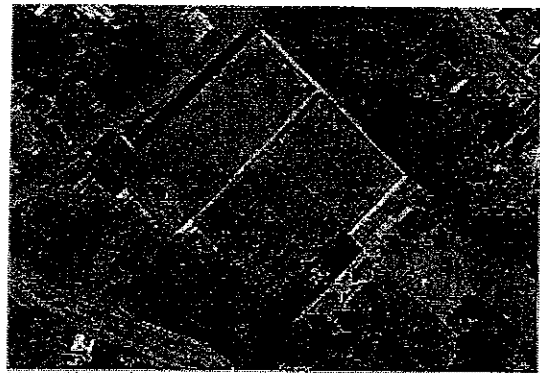
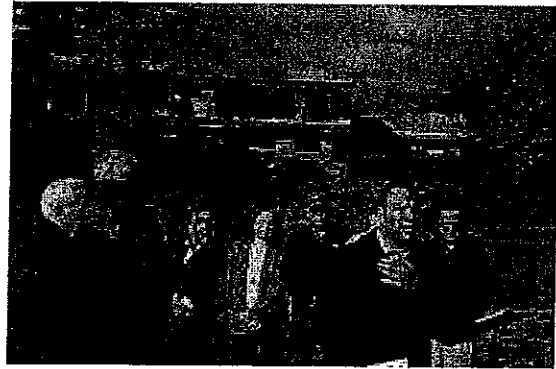


Franklin G. Pilicy, Esq.

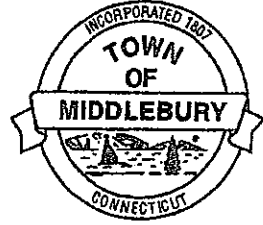












TOWN OF MIDDLEBURY

1212 Whittemore Road
Middlebury, Connecticut 06762

Planning & Zoning Department
(203) 577-4162 ph Ext. 2
cbosco@middlebury-ct.org

WATERTOWN, CT
TOWN CLERKS OFFICE
RECEIVED FOR RECORD

2023 MAY 18 AM 11:09

Lisa Dalton
TOWN CLERK

To Contiguous Town Clerks:

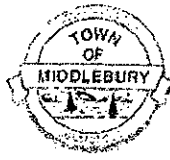
May 12, 2023

Dear Town Clerk:

Please find a copy of Zoning Text Amendment attached, which has been proposed to the Middlebury Planning and Zoning Commission. The proposed change is explained in the Application. This letter is to serve as notice in accordance with the C.G.S. Sec. 8-3b. The Commission has scheduled the Public Hearing for July 6, 2023 at 7:00 p.m. at Shepardson Community Center at 1172 Whittemore Road, Middlebury, CT. Feel free to contact me if you have any questions at (203) 577-4162 X-2 or by email at cbosco@middlebury-ct.org.

Sincerely,

Curtis Bosco
Z.E.O.



Town of Middlebury

Planning and Zoning Department

1212 Whittemore Road, Middlebury, CT 06762

203-577-4162 x2

cbosco@middlebury-ct.org

RECEIVED FOR FILING

May 11 2023 at 3:30 PM

TOWN CLERK'S OFFICE
MIDDLEBURY, CT

[Signature]
TOWN CLERK

Zoning Permit Application

05/02/2023

23-21Z

Property Type: Residential

Property

Location of Subject Property: 1321 WEST ST

Assessor's Tax Map/Block/Lot Number: 6-08 0 112~1625

Lot Size: town wide Zoning District: _____

Check all that apply: Wetlands Floodplain (FEMA) Aquifer

Related planning permits: _____

The subject property is served by: Private Well* Public Water

Private Septic* Public Sewer

***Requires approval from Torrington Area Health District prior to Zoning Permit Application review.**

Applicant

Name of Applicant (primary contact): 1365, LLC

Company: 1365, LLC

Address: PO Box 809, Middlebury, CT 06762

Daytime Phone/Cell: 203-232-0425

Email Address: michael@mjmlaw1.com

Owner

Name of Owner (if different from Applicant): 1365 LLC

Address: 1321 WEST ST MIDDLEBURY, CT 06762

Daytime Phone/Cell: 203-232-0425

Email Address: dean@theshoppes.net

Proposed

Application for: New Primary Structure Addition Barn Deck

Detached Garage Ground Mounted Solar Pool Shed Sign

Change of Use Special Exception ZBA Other: text change

Briefly describe the proposal (provide dimensions and location):

LENGTH: _____ WIDTH: _____ HEIGHT: _____ SQUARE FOOTAGE: _____

create new zoning use - bed & breakfast

Zoning Permit Application

Page 2

A stamped and signed Site Plan prepared by a CT Licensed Surveyor or Professional Engineer of an A-2 standard is required for most Zoning Permit Applications. For minor structures such as Decks, Sheds or small Additions one may not be required. Attach a copy of a map, drawn to scale, of the subject parcel, indicating the size of the property and the location, dimensions, and square footage of all existing and proposed structures and related site work. A map can be obtained from the municipal online GIS system. It can be accessed at: <https://middlebury.mapxpress.net/>

The final determination concerning documentation is at the discretion of the Zoning Enforcement Officer or the Planning & Zoning Commission.

By signing below, I hereby attest that I understand the application requirements, and that the information I have provided on this form is complete and accurate. I understand that this is not a Zoning Permit and that upon approval by the Zoning Official, a Zoning Permit may be issued. I further understand that approval from other municipal departments and regional entities may be required, which may increase the review time.

Applicants For Single Family Homes:

I understand that prior to issuing a Certificate of Zoning Compliance, a *minimum* of 5 business days is required in order to review plans, conduct inspections, and request any modifications or bonds. I also understand that all plans shall meet the minimum standards outlined in the *Zoning Permit & Final As-Built Plan Specifications* document.

Applicant's signature: Michael J. McVerry Date: 05/02/2023

Owner's signature: 1365 LLC Date: 05/02/2023

(REQUIRED if different from Applicant)

OFFICIAL USE ONLY	
FEE	Conditions/Stipulations RECEIVED MAY 02 2023 Middlebury Land Use Office Middlebury, CT 06762
Fee: \$145.00	
Application #: <u>23-21Z</u> <u>1485 g.c.c. 5/2/22 BC</u>	
BONDS	
Bond required? Yes <input type="radio"/> No <input checked="" type="radio"/>	
Bonds paid: Erosion & Sedimentation Control	
Driveway Apron Landscaping Other _____	
Total Bond Amount: \$0.00	

Draft

Town of Middlebury, CT
Planning and Zoning Department
1212 Whittemore Road, Middlebury, CT 06762
203-577-4162 x2

05/02/2023

ZONE CHANGE APPLICATION

Draft

Applicant Information:

Name: 1365 LLC
Address: PO Box 809, Middlebury, CT 06762
Daytime Phone/Cell: 203-232-0425
Email: michael@mjmlaw1.com
Legal Interest: _____

Owner Information:

Name: 1365 LLC
Address: 1321 WEST ST MIDDLEBURY, CT 06762
Daytime Phone/Cell: 203-232-0425
Email: dean@theshoppes.net

Subject Parcel:

Address: 1321 WEST ST
Size: Town Wide Assessor's Map and Lot #: 6-08 112~1625
Is the subject parcel within 500 ft. of the Town boundary? yes no
Zone Change Requested from _____ to _____

Purpose of Request: Text Amendment
create new zoning use - Bed & breakfast

Parties of Interest:

Attorney Name: Michael J. McVerry

Address: 35 Porter Avenue PO Box 578, Naugatuck, CT 06770

Daytime Phone/Cell: 203-723-7435

Email: michael@mjlmlaw1.com

Engineer/ Architect Name: _____

Address: _____

Daytime Phone/Cell: _____

Email: _____

Developer/ Builder Name: 1365, LLC

Address: PO Box 809, Middlebury, CT 06762

Daytime Phone/Cell: 203-232-0425

Email: dean@theshoppes.net

Other: _____

Role: _____

Address: _____

Daytime Phone/Cell: _____

Email: _____

Fees:

Zone Change Fee = \$ 760.00 (Payable to the Town)

Signatures:

Signature of Owner(s) 1365 LLC

Date: 05/02/2023

Signature of Applicant(s) 1365, LLC

Date: 05/02/2023

Michael J. McVerry
Attorney at Law

May 1, 2023

Planning & Zoning Commission
Town of Middlebury
1212 Whittemore Road
Middlebury, CT 06762

35 PORTER AVENUE
P.O. BOX 578
NAUGATUCK, CONNECTICUT 06770
(203) 723-7435
FAX (203) 723-8995

**RE: AMENDMENT ZONING REGULATIONS
BED & BREAKFAST REGULATIONS**

Dear Commissioners:

This office represents 1365, LLC, the owner of 1321 West Street, property formerly owned by the Roman Catholic Parish of Middlebury Southbury Church Corporation. This property is currently zoned R-40 Residential. My client is proposing to create a new allowed use within Residential Zones – allowing for Bed & Breakfast facilities.

To that end, I enclose ten copies of an Application to Amend the Zoning Regulations;

Kindly process this in your usual manner. Should you have any questions, please feel free to contact the undersigned. Thank you for your anticipated cooperation in this matter.

Very truly yours,


MICHAEL J. McVERRY
MJM/m

Enclosures

**MIDDLEBURY ZONING REGULATIONS
PROPOSED BED & BREAKFAST (B&B) FACILITIES:**

New: Section 9.1 – DEFINITIONS - Bed and Breakfast (B&B) Facility. A private facility located in any Residential Zone in a dwelling unit located on a minimum of two acres where overnight accommodations and a morning meal are provided to transients for compensation.

Revision: Section 8.6 Renting of Rooms: Except as provided in Section 21.2.15, when a portion of a dwelling is rented or leased, the renting of rooms in a dwelling unit is an additional use for which a CERTIFICATE OF ZONING COMPLIANCE is required. The person renting the rooms shall reside in the dwelling unit. This section shall not apply to the renting or leasing of an entire dwelling unit.

Revision: Section 21.1.4. Except as provided in Section 21.2.15, the renting, with or without meals, in a dwelling unit of not more than four (4) persons, subject to the provisions of Section 8.

Revision: Section 21.2.15 to be renumbered and relocated to Section 21.2.16.

New: Section 21.2.15. Bed and Breakfast use including the renting of a room or rooms in a dwelling unit subject to the following:

- a. The number of proposed lodging units shall be compatible with the surrounding area and shall be reasonable taking into consideration the floor size and configuration of the dwelling unit and the size of the property upon which such dwelling unit is located;
- b. Said facility shall meet all requirements of the local Sanitarian/Health Official, Fire Marshal, Town Engineer, Police Department and other appropriate bodies as the Commission may require;
- c. The property upon the facility is located shall be large enough to provide adequate parking at the rate of one vehicle per guest room subject to Section 62.3.12;
- d. Full bathroom shall be provided at the rate of one per two guest rooms;
- e. Guest rooms shall have no cooking facilities;
- f. Said facility shall meet all requirements for a Special Exception as required by Section 52 of these regulations;
- g. Said Facility shall meet all requirements for a Site Plan as required by Section 51 of these Regulations;
- h. Said facility shall meet all requirements for signage as required by Section 63 of these Regulations and outdoor lighting in the zone, and as may be visible from off property as set forth in Section 61.6;
- i. Breakfast may be served to registered guests;

- j. No more than twenty (20) guests shall be allowed to rent at one time;
- k. The grounds of any approved Bed & Breakfast Facility located adjacent to an existing commercial food or banquet facility may be utilized for out of door social functions in conjunction with said neighboring establishments, provided that said out-of-door functions shall be required to conclude no later than 11:30 pm.
- l. Said Bed & Breakfast Facility shall be required to have at least one (1) employee available at any time in which any room has been rented.

- e. Any use that is noxious or offensive because of odors, dust, noise, fumes, or vibrations.
- f. Outside storage of automotive vehicles of any kind or condition.

49.6 Standards

The owner/landlord shall maintain with the ZEO a copy of the current lease agreement, in which there will be a prohibition against the storage of any hazardous or toxic materials as may be defined periodically by the Connecticut DEEP.

Outside storage is limited to recreational vehicles and boats on trailers only. Any such stored vehicle, boat or trailer shall be in operable condition.

Outside storage is subject to the provisions of section 31 of the Zoning Regulations- Landscaping, Screening, and Buffering as amended (sections 31.3, 31.3.1 and 31.5.3 f).

The effective date of the text amendment is Friday, August 3, 2018.

Existing Definitions/Text

FARM RELATED TERMS

FARM: A parcel of land containing a minimum of 5 acres used principally for farming.
FARMING: Agricultural activities, forestry, nursery, or truck gardening, roadside farm stands accessory to a farm, and raising, keeping, or sale of livestock or fowl, but excluding commercial piggeries and the raising of animals for laboratory use or for their fur.

FARM BUILDING OR STRUCTURE: A building or other structure used exclusively for purposes associated with farming. (Effective date 5/15/15)

FARM EQUIPMENT: Equipment regularly used for farm activity such as tilling the soil, harvesting crops, raising livestock or fowl, and forestry management.

FARM STAND, ROADSIDE: A structure not exceeding 150 sq. ft. in area, located not less than 20 feet from any street line, and used only for the sale of agricultural products grown or produced on the same premises.

Proposed Revisions

Add new definitions

Farm: A tract of land used for commercial purposes as defined in Connecticut General Statutes 1-1(q) to produce agricultural, aquaculture, horticultural, floricultural, vegetable, tree or fruit products, and also including the raising, caring for, and training of horses and other livestock, but excluding the slaughtering of animals not raised on the lot.

The term farm includes farm buildings and accessory farm buildings and structures and uses that are incidental to the normal farm operations.

A farm shall include a parcel of land containing a minimum of 5 acres used principally for farming. A farm may be located on multiple parcels. The various parcels of land operated by a single farm may be held in separate and distinct ownership.

Farming: Agricultural activities, forestry, nursery, or truck gardening, roadside farm stands accessory to a farm, Farm Store Permanent operations subject to site plan approval, and raising, keeping, or sale of livestock or fowl, but excluding commercial piggeries and the raising of animals for laboratory use or for their fur (this does not prohibit the raising of livestock, such as sheep or alpaca, for the sheering of wool).

The term farming includes farm buildings and accessory farm building and structures and uses that are customary and incidental to the normal farm operation.

Farm Store Permanent: A permanent structure, or part, or all, of an existing structure, associated with and used by a Farm, for which a site plan has been approved by the Planning and Zoning Commission allowing for year-round display and sale of raw and/or processed agricultural and horticultural products. The following criteria to be demonstrated by the applicant prior to approval of the site plan:

- The store may offer for sale, CT grown farm products substantially all of which are grown on the farm; and accessory products, whether produced and packaged on the farm or elsewhere, associated with agricultural or horticultural products offered on the subject property.
- The placement of any new structure or approval of any existing structure shall be subject to all applicable setback requirements in the district in which it is located and shall be in keeping with the rural character of its Watertown neighborhood; in no event shall a building or parking area be located within 100 feet of an existing residential building located on an abutting property. A proposed structure designed to look like a wood barn shall be considered to be in keeping with the rural character of its Watertown neighborhood.
- If the proposed building or the existing building is located on a Farm parcel greater than 10 acres, the floor area of a Farm Store Permanent building shall not exceed 1,200 square feet without a special permit. If the proposed building or the existing building is located on Farm parcel less than 10 acres, the floor area of a Farm Store Permanent building shall not exceed 600 square feet without a special permit.
- The number of parking spaces required shall be determined by the Commission and guided by appropriate parking standards, and a permeable [dustless] parking surface is encouraged.

GREENHOUSE/NURSERY, COMMERCIAL The retail display and sale of produce grown on a lot of not less than 5 acres, or the retail display and sale of flowers and floral arrangements whether or not grown on the lot that shall meet all of the following requirements:

- The lot shall meet the frontage requirement of the district in which it is located. All structures shall be located not less than 100 feet from the street line and 100

feet from any dwelling on an adjacent lot. The side yard setback shall be not less than 50 feet for all buildings, parking areas and driveways.

- The number of parking spaces required shall be determined by the Commission and guided by appropriate parking standards, and a permeable [dustless] parking surface is encouraged.

The effective date of this text amendment is Friday, October 26, 2018.

May 23, 2023

Mark Massoud
Zoning Enforcement Official

Moosa Rafey
Assistant Zoning Enforcement & Wetlands Officer

61 Echo Lake Road
Watertown, CT 06795

Notification of Non-Compliance Re: Watertown Zoning Regulations

To Whom it may concern,

This notification serves to identify that the Town of Watertown is in violation of the Connecticut Forest Practices Act (FPA), Connecticut General Statutes Section 23-65k, with respect to Watertown Zoning Regulations: Sections 12.5.1.c, 21.3.1.h, and 40.3.6.

A recent review of municipal zoning and wetlands regulations conducted by the Department of Energy and Environmental Protection (DEEP) revealed that the Town of Watertown is regulating forest practices under the Town Zoning Regulations. The Town of Watertown is not a named municipality that is authorized to regulate forest practices pursuant to CGS Sec. 23-65k.

Municipal Zoning Commissions have no jurisdiction over forest practices pursuant to CGS Sec. 23-65k(h): "The commissioner shall regulate forest practices in accordance with the provisions of section 23-65j within a municipality which does not regulate forest practices in accordance with this section."

Therefore, we are sending this notice to correct the oversight and ensure that the Town of Watertown comes into compliance with Connecticut General Statutes Section 23-65k.

Moving forward please give careful consideration to the following:

- The Town's current Zoning Regulations require either site plan approval and/or permitting requirements. All such site plan reviews and other permitting requirements must be rescinded to come into compliance.

References can be found on .pdf file pages 86, 106, and 160.



Should the Planning and Zoning Commission have any further questions concerning its authority under CGS Section 23-65k they should contact Nick Zito in the Division of Forestry at (860) 424-3837. Questions regarding the Inland Wetlands and Watercourse Act should continue to be directed to Darcy Winther in the Division of Land and Water Resources at (860) 424-3063.

Sincerely,

Nick Zito
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Forest Products Utilization and Marketing
Division of Forestry
Bureau of Natural Resources
Connecticut Department of Energy and Environmental Protection
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